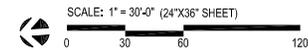


NOTE:
 1. CONFORM TO THE ILLUMINATION REQUIREMENTS OF ZDC 4.801 THROUGH 4.805 FOR MU-4 AND R-5 ZONING DISTRICTS.
 2. PROVIDE EMERGENCY RADIO AMPLIFICATION PER ORDINANCE No. 2007.54, 9-16-07.

ARCHITECTURAL SITE PLAN



A-201

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 Architectural conceptual site plans are for feasibility purpose only. Revisions may occur due to further investigation from regulatory authorities and building code analysis. Dimensions shown are of a strategic intent only. Refer to surveys and civil drawings for technical information and measurements.

THE DISTRICT
RESIDENTIAL HOUSING DEVELOPMENT, LLC.
 2011 / 10 / 10 TEMPE, AZ HPA #11122



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 DALLAS CHARLOTTE IRVINE LAS VEGAS NEW ORLEANS NORFOLK ORLANDO PHOENIX

THE DISTRICT		JOB NUMBER-		2011121	5 STORY	
UNIT TABULATION		DATE CREATED-		10-Oct-11		
TYPE	AREA	NO.	%	TOT.AREA	PKG REQ. RESIDENT/GUEST	BEDS
A1(1BED/1BATH)	600	20	7%	12,000	15/4.0	20
B1(2BED/2BATH)	901	40	14%	36,040	60/8.0	80
C1(3BED/3BATH)	1,181	62	22%	73,222	128.3/11.4	186
C2(3BED/3BATH)	1,183	14	5%	16,562	31.5/2.8	42
D1(4BED/4BATH)	1,401	77	28%	107,877	246/16.4	308
D2(4BED/4BATH)	1,489	66	24%	98,274	198/13.2	264
TOTAL		279	100%	343,975	679.0/56.0	900

AVERAGE UNIT SIZE : 1,233
GROSS SITE AREA:(PRIOR TO SUBDIVISION) 5.616 ACRES
NET SITE AREA 5.5108 ACRES
NET SITE AREA - DISTRICT 5.2514 ACRES
NET SITE AREA - BAER'S DEN 0.2594 ACRES

R.5 DISTRICT (7 PARCELS)
AREA: 2.189 GROSS ACRES
PROVIDED UNITS: 64
ALLOW DENSITY: 30 UNITS/ACRE
PROVIDED DENSITY: 29.2 UNITS/ACRE

MU.4 DISTRICT (5 PARCELS)
AREA: 3.427 GROSS AREAS
PROVIDED UNITS: 215
ALLOW DENSITY: NO STANDARD
PROVIDED DENSITY: 62.7 UNITS/ACRE

OVERALL (12 PARCEL)
AREA: 6 GROSS AREAS
PROVIDED UNITS: 279
PROVIDED DENSITY: 49.7 UNITS/ACRE
163 BEDS/ACRE

LOT COVERAGE BY BUILDING: 0.57

BUILDING SETBACKS FROM PROPERTY LINE	PROVIDED	REQUIRED
NORTH(FRONT)	6'	5'
WEST(SIDE)	30'	30'
EAST(SIDE)	41'	41'
SOUTH(REVERSE FRONT):	6'	5'

BUILDING HEIGHT	PROVIDED	REQUIRED
MAXIMUM HEIGHT IN R.5 DISTRICT:	58'	58'
MAXIMUM HEIGHT IN MU-4 DISTRICT:	85'	90'

PARKING	PROVIDED	REQUIRED
TOTAL SPACES	920	771
RESIDENT:	824 (GARAGE)	675
GUEST:	56 (56 GARAGE)	56
RETAIL:	11 (6 SURFACE,5 PODIUM)	11
PORTION OF CLUBHOUSE: (GYM OPEN TO PUBLIC)	29(1GARAGE, 18 SURF.,10 PODIUM)	29

0.75 SPACE/BEDROOM
0.2 SPACE/UNIT
1SPACE /75SF (1075 SF)
WAIVED FOR 25% IF FLOOR AREA/
1 SPACE/125SF (4810 SF)
WAIVED FOR 25% IF FLOOR AREA/

BIKE PARKING	PROVIDED	REQUIRED
TOTAL:	300	256
RESIDENT:		10
		20
		57
		108
GUEST:		56
RETAIL:		2
GYM:		3

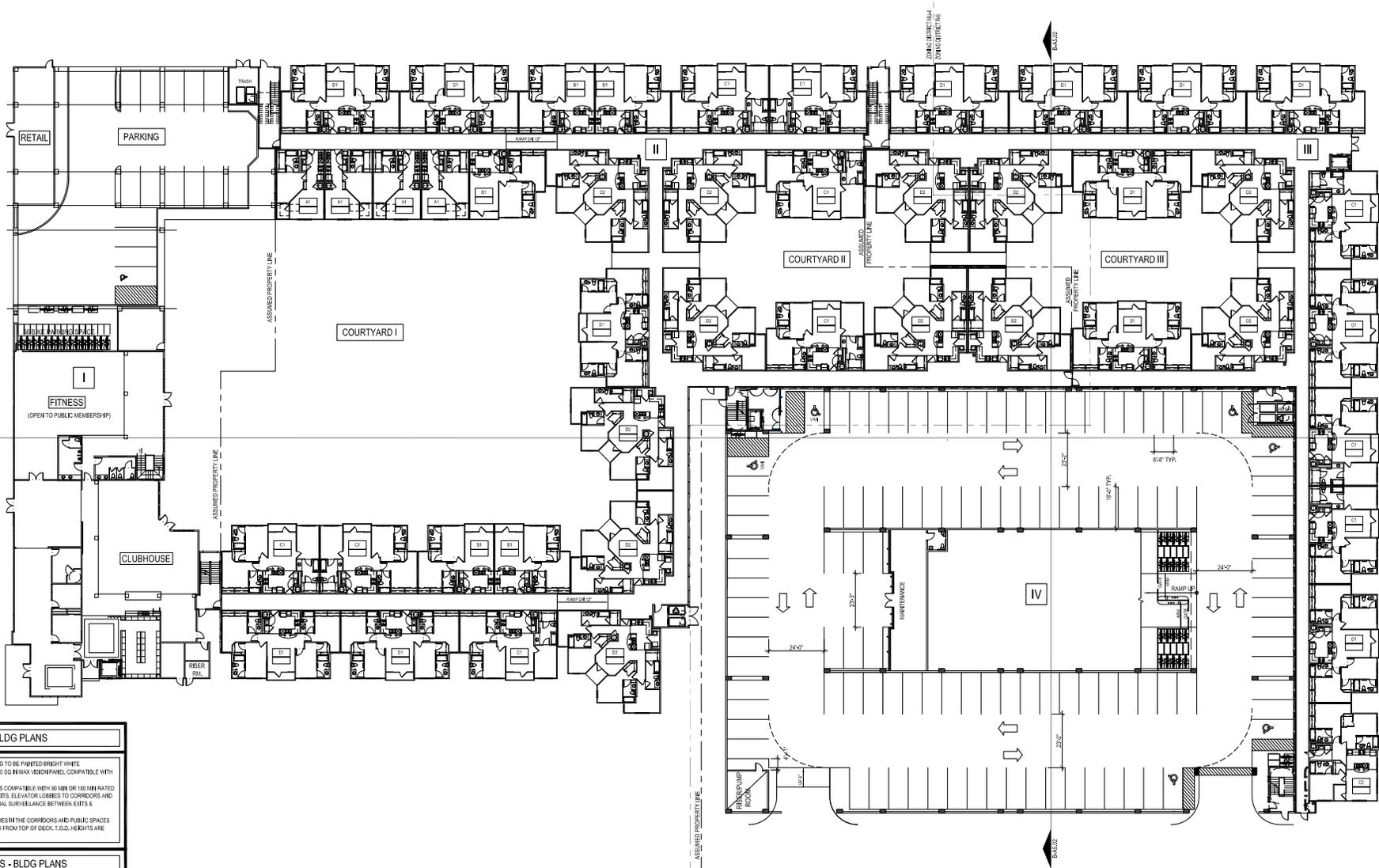
0.5 SP/1-BEDROOM UNIT (20)
0.5 SP/2-BEDROOM UNIT (40)
0.75 SP/3-BEDROOM UNIT (76)
0.75 SP/4-BEDROOM UNIT (143)
0.2 SPACE/UNIT (279)
1 SP/10,000 S.F, 2 MIN (1075)
1 SP/2000 S.F.(4810)

LANDSCAPE COVERAGE: 0.25

GP2030 PROJECTED DENSITY: GREATER THAN 25 UNIT/AC
GP2030 PROJECTED LAND USE:
RESIDENTIAL FOR 7 SOUTHERN PARCELS
MIXED-USE FOR 5 NORTHERN PARCELS

PROJECTED ZONING:
R-5(PAD)(TOD) FOR 7 SOUTHERN PARCELS
MU-4(PAD)(TOD) FOR 5 NORTHERN PARCELS

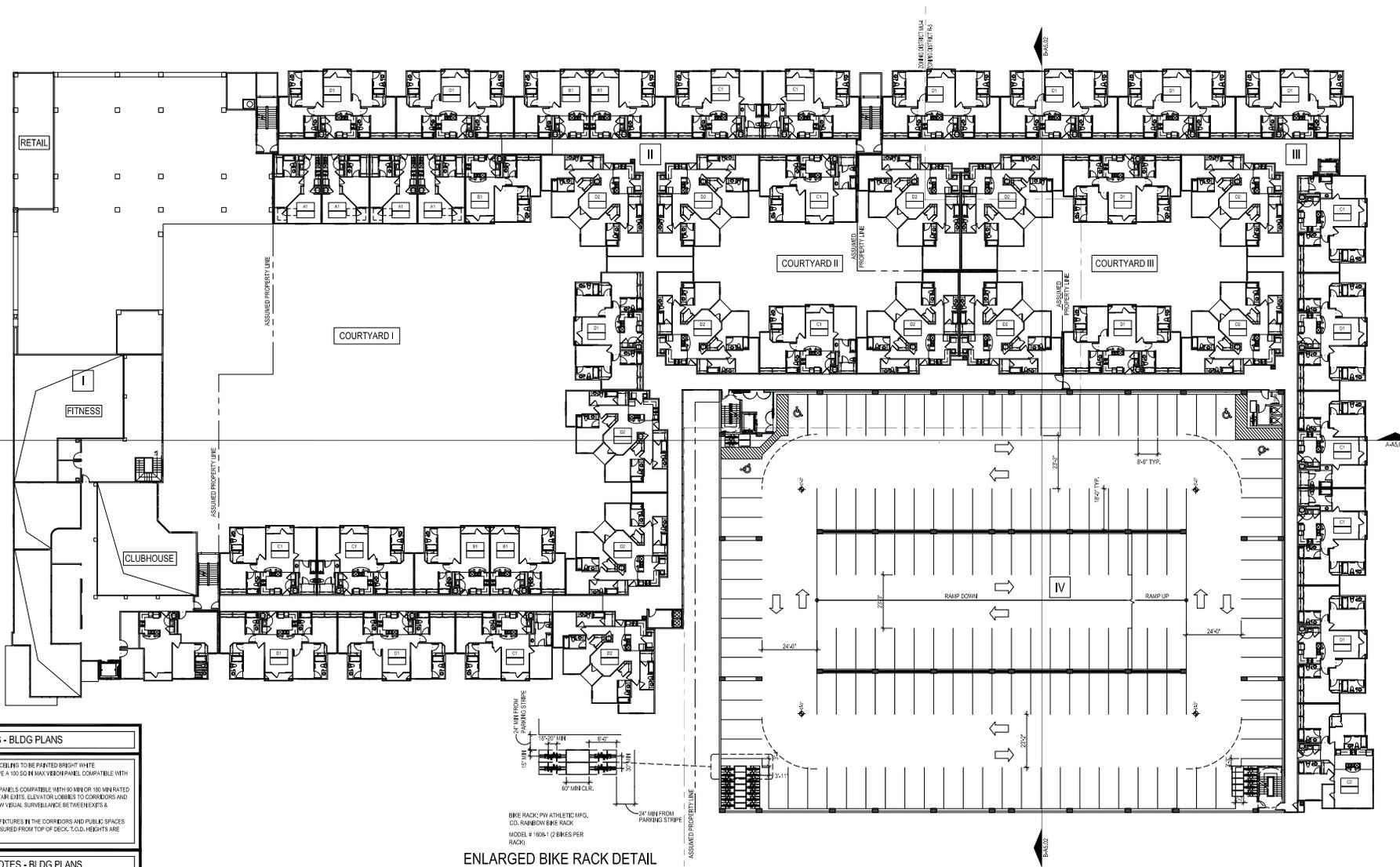
QUANTITY OF LOTS IN SUBDIVISION: 3 UNTIL NEW BAER'S BEN IS CONSTRUCTED, THEN REDUCE LOT QUANTITY TO 2
QUANTITY OF TRACTS IN SUBDIVISION: 0



- | NOTES - BLDG PLANS |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| - GARAGE COLUMNS, WALLS AND CEILING TO BE PAINTED BRIGHT WHITE |
| - ALL TRASH ROOM DOORS TO HAVE A 10'x50" MAX VISION PANEL, COMPATIBLE WITH A 45 MIN RATED DOOR |
| - PROVIDE 100 SQ. IN MAX VISION PANELS COMPATIBLE WITH 90 MIN OR 180 MIN RATED DOOR WHERE APPLICABLE AT STAIR-LOBBY, ELEVATOR LOBBIES TO CORRIDORS AND GARAGE TO CORRIDOR TO ALLOW VISUAL SURVEILLANCE BETWEEN EXITS & SURROUNDINGS. |
| - PROVIDE VANDAL PROOF LIGHT FIXTURES IN THE CORRIDORS AND PUBLIC SPACES |
| - ALL PARAPET HEIGHTS ARE MEASURED FROM TOP OF DECK, T.O.D., HEIGHTS ARE MEASURED FROM 4'-0" |
-
- | GARAGE NOTES - BLDG PLANS |
|------------------------------------------------------------------------------------------------------------------------------|
| - PROVIDE 3 FT. DOOR SWING ZONE BETWEEN SIDE OF PARKING SPACE & WALL, BIKE PARKING OR FENCE SITE. |
| - 22'-0" MIN. DRIVE ISLE & 8'-0" X 16'-0" MIN. PARKING SPACE, TYPICAL. |
| - PARKING SPACES TO BE LOCATED 2'-0" MIN. FROM ADJACENT WALL, FENCE OR BIKE. |
| - ALL BIKE RACKS MUST MAINTAIN 6' LONG USABLE SPACE FOR A BICYCLE, 30" BETWEEN REAR RACK AND 15' CLEAR DISTANCE BEYOND RACK. |
| - PROVIDE ENHANCED LIGHT AT TRASH HOLES OFF IN GARAGE. |
| - COLUMNS MAY NOT PROJECT INTO THE REQUIRED PARKING SPACE (8'-6" X 15'-0" MIN.) |

1ST FLOOR PLAN
 SCALE: 1" = 20'-0" (24"x36" SHEET)

A-401



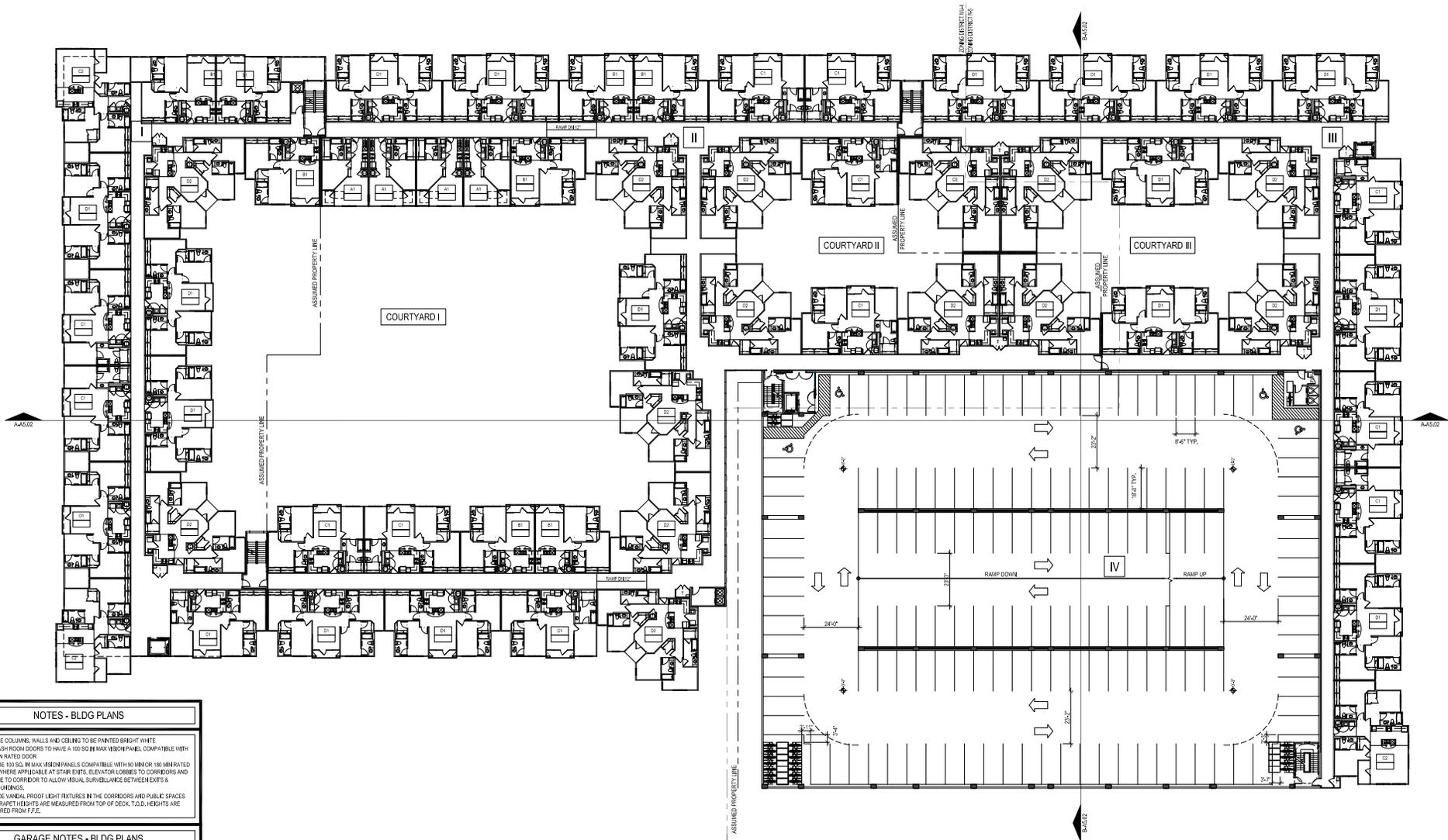
NOTES - BLDG PLANS
<ul style="list-style-type: none"> - GARAGE COLUMNS, WALLS AND CEILING TO BE PAINTED BRIGHT WHITE - ALL TRASH HOOD DOORS TO HAVE A 100 SQ IN MAX VISION PANEL, COMPATIBLE WITH A 45 MIN RATED DOOR - PROVIDE 100 SQ IN MAX VISION PANELS COMPATIBLE WITH 90 MIN OR 180 MIN RATED DOOR LINING AVAILABLE AT STAIR EXITS, ELEVATOR LOBBIES TO CORRIDORS AND GARAGE TO CORRIDOR TO ALLOW VISUAL SURVEILLANCE BETWEEN EXITS & SURROUNDINGS. - PROVIDE VANDAL PROOF LIGHT FIXTURES IN THE CORRIDORS AND PUBLIC SPACES - ALL PARAPET HEIGHTS ARE MEASURED FROM TOP OF DECK, T.O.D. HEIGHTS ARE MEASURED FROM F.F.T.E.
GARAGE NOTES - BLDG PLANS
<ul style="list-style-type: none"> - PROVIDE 2 FT DOOR SWING ZONE BETWEEN SIDE OF PARKING SPACE & WALL, BIKE PARKING OR FENCE GATE. - 21'-0" MIN. DRIVE B/L & 8'-0" X 10'-0" MIN. PARKING SPACE, TYPICAL. - PARKING SPACES TO BE LOCATED 2'-0" MIN FROM ADJACENT WALL, FENCE OR BIKE. - ALL BIKE RACKS MUST MAINTAIN 4'-0" CLEAR SPACE FOR A BIKE, 30" BETWEEN EACH RACK AND 15" CLEAR DISTANCE BEYOND RACK. - PROVIDE ENHANCED LIGHT AT TRASH HOOD, OFF'S IN GARAGE. - COLUMNS MAY NOT PROJECT INTO THE REQUIRED PARKING SPACE (8'-6" X 10'-0" MIN).

ENLARGED BIKE RACK DETAIL
NTS

2ND FLOOR PLAN
SCALE: 1" = 20'-0" (24"X36" SHEET)

A-402

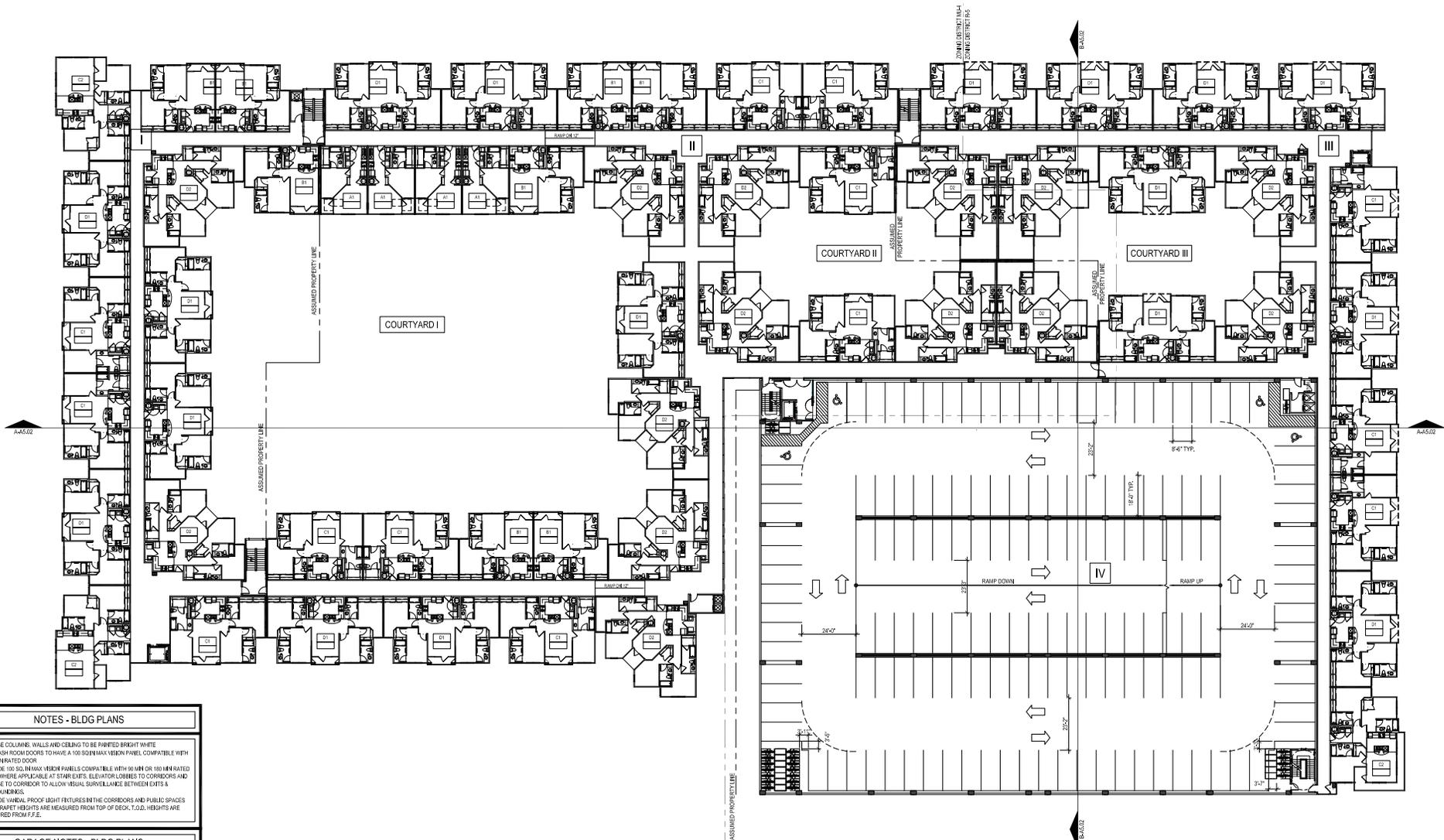




- | NOTES - BLDG PLANS | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| <ul style="list-style-type: none"> GARAGE COLUMNS, WALLS AND CEILING TO BE PAINTED BRIGHT WHITE ALL TRASH ROOM DOORS TO HAVE A 100/30 MIN MAX VISION PANEL COMPATIBLE WITH A 40 MIN RATED DOOR PROVIDE 100/30 MIN MAX VISION PANELS COMPATIBLE WITH 90 MIN OR 180 MIN RATED DOOR WHERE APPLICABLE AT STAIR EXITS, ELEVATOR LOBBIES TO CORRIDORS AND GARAGE TO CORRIDOR TO ALLOW VISUAL SURVEILLANCE BETWEEN EXITS & SUBROULENGES PROVIDE VANDAL PROOF LIGHT FIXTURES IN THE CORRIDORS AND PUBLIC SPACES ALL FINISH HEIGHTS ARE MEASURED FROM TOP OF DECK, T.I.D. HEIGHTS ARE MEASURED FROM F.F.E. | |
| GARAGE NOTES - BLDG PLANS | |
| <ul style="list-style-type: none"> PROVIDE 3 FT DOOR SWING ZONE BETWEEN SIDE OF PARKING SPACE & WALL, BIKE PARKING OR FENCE GATE 20' MIN DRIVE BELL & 8'6" X 16'2" MIN PARKING SPACE, TYPICAL PARKING SPACES TO BE LOCATED 2'-4" MIN FROM ADJACENT WALL, FENCE OR BIKE ALL BIKE RACKS MUST MAINTAIN 6' LOW USABLE SPACE FOR A BICYCLE, 30" BETWEEN EACH RACK AND 15" CLEAR DISTANCE BEYOND RACK PROVIDE ENHANCED LIGHT AT TRASH ROLL OFFS IN GARAGE COLUMNS MAY NOT PROJECT INTO THE REQUIRED PARKING SPACE (8'4" X 16'0" MIN) | |

3RD FLOOR PLAN
 SCALE: 1" = 20'-0" (24"X36" SHEET)

A-403



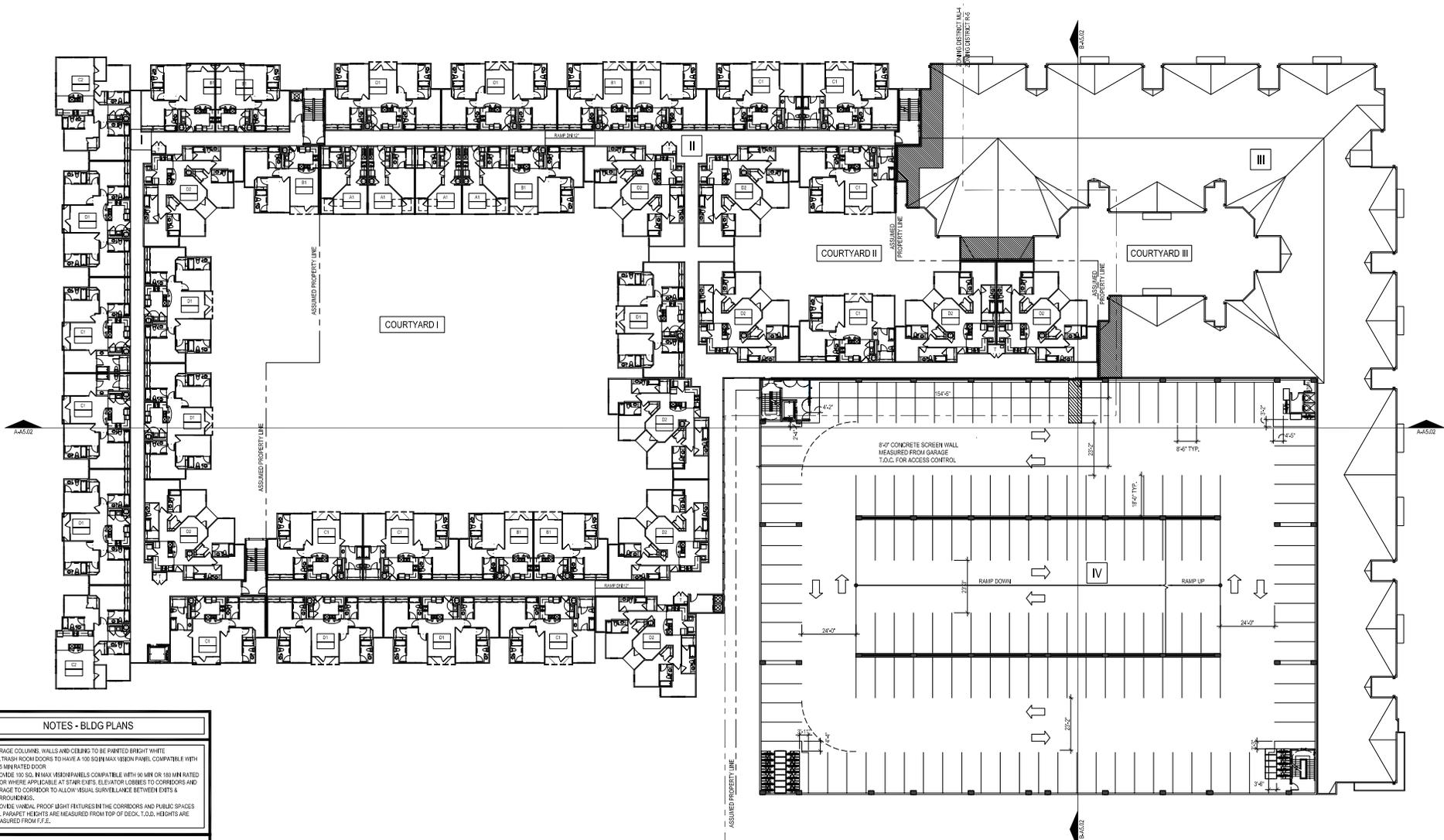
- | NOTES - BLDG PLANS | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| <ul style="list-style-type: none"> GARAGE COLUMNS, WALLS AND CEILING TO BE PAINTED BRIGHT WHITE ALL TRASH ROOM DOORS TO HAVE A 100 SQ IN MAX VISION PANEL COMPATIBLE WITH A-45 MIN RATED DOOR PROVIDE 100 SQ IN MAX VISION PANELS COMPATIBLE WITH 90 MIN OR 180 MIN RATED DOOR WHERE APPLICABLE AT STAIR EXITS, ELEVATOR LOBBIES TO CORRIDORS AND GARAGE TO CORRIDOR TO ALLOW VISUAL SURVEILLANCE BETWEEN EXITS & SURROUNDINGS PROVIDE VISUAL PROOF LIGHT FIXTURES IN THE CORRIDORS AND PUBLIC SPACES ALL PARALLEL HEIGHTS ARE MEASURED FROM TOP OF DECK; T.O.D. HEIGHTS ARE MEASURED FROM F.F.E. | |
| GARAGE NOTES - BLDG PLANS | |
| <ul style="list-style-type: none"> PROVIDE 2 FT DOOR SWING ZONE BETWEEN SIDE OF PARKING SPACE & WALL BIKE PARKING OR FENCE GATE 2'0" MIN CLEAR BULK & 6" X 14'0" MIN PARKING SPACE, TYPICAL PARKING SPACES TO BE LOCATED 2'-0" MIN FROM ADJACENT WALL, FENCE OR BIKE ALL BIKE RACKS MUST MAINTAIN 1'0" LONG USABLE SPACE FOR A BICYCLE, 3'0" BETWEEN EACH RACK AND 1'0" CLEAR DISTANCE BEYOND RACK PROVIDE ENHANCED LIGHT AT TRASH ROLL OFFS IN GARAGE COLUMNS MAY NOT PROJECT INTO THE REQUIRED PARKING SPACE (8'-0" X 14'-0" MIN) | |

4TH FLOOR PLAN

SCALE: 1" = 20'-0" (24"X36" SHEET)

0 20 40 80

A-404



NOTES - BLDG PLANS	
- GARAGE COLUMNS, WALLS AND CEILING TO BE PAINTED BRIGHT WHITE	
- ALL TRASH HOOD DOORS TO HAVE A 700 SQ. IN. MIN. VISION PANEL, COMPATIBLE WITH A 45 MIN RATED DOOR	
- PROVIDE 100 SQ. IN. MAX. VISION PANELS COMPATIBLE WITH 100 MIN. OR 100 MIN RATED DOOR WHERE APPLICABLE AT STAIR EXITS, ELEVATOR LOBBIES TO CORRIDORS AND GARAGE TO CORRIDOR TO ALLOW VISUAL SURVEILLANCE BETWEEN EXITS & SURROUNDINGS.	
- PROVIDE VANDAL PROOF LIGHT FIXTURES IN THE CORRIDORS AND PUBLIC SPACES	
- ALL PARAPET HEIGHTS ARE MEASURED FROM TOP OF DECK, T.O.D., HEIGHTS ARE MEASURED FROM F.F.E.	

GARAGE NOTES - BLDG PLANS	
- PROVIDE 1 FT. DOOR SWING ZONE BETWEEN SIDE OF PARKING SPACE & WALL, BIKE PARKING OR FENCE GATE	
- 22'-2" MIN. DRIVE ISLE & 8'-0" X 12'-0" MIN. PARKING SPACE, TYPICAL	
- PARKING SPACES TO BE LOCATED 2'-0" MIN. FROM "KICKOUT" WALL, FENCE OR BIKE	
- ALL BIKE RACKS MUST MAINTAIN A LONG USABLE SPACE FOR A BICYCLE, 3'-0" BETWEEN EACH RACK AND 1'-0" CLEAR DISTANCE BEYOND RACK.	
- PROVIDE ENHANCED LIGHT AT STAIR ROLL OFF IN GARAGE	
- COLUMNS MAY NOT PROJECT INTO THE REQUIRED PARKING SPACE (8'-0" X 12'-0" MIN.)	

5TH FLOOR PLAN

SCALE: 1" = 20'-0" (24"X36" SHEET)

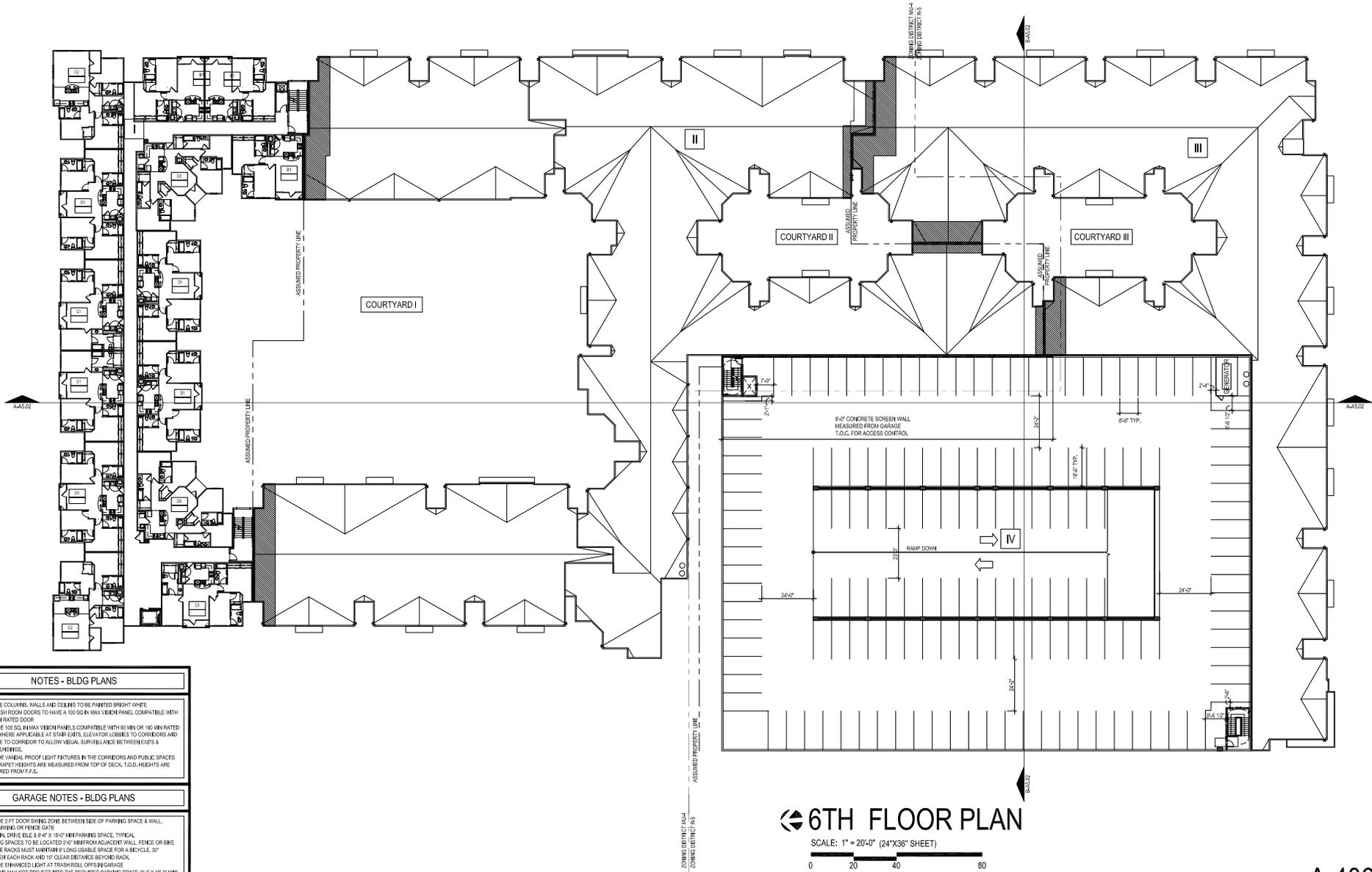
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A-405

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THE DISTRICT
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 2011 / 10 / 17 TEMPE, AZ HPA #11122

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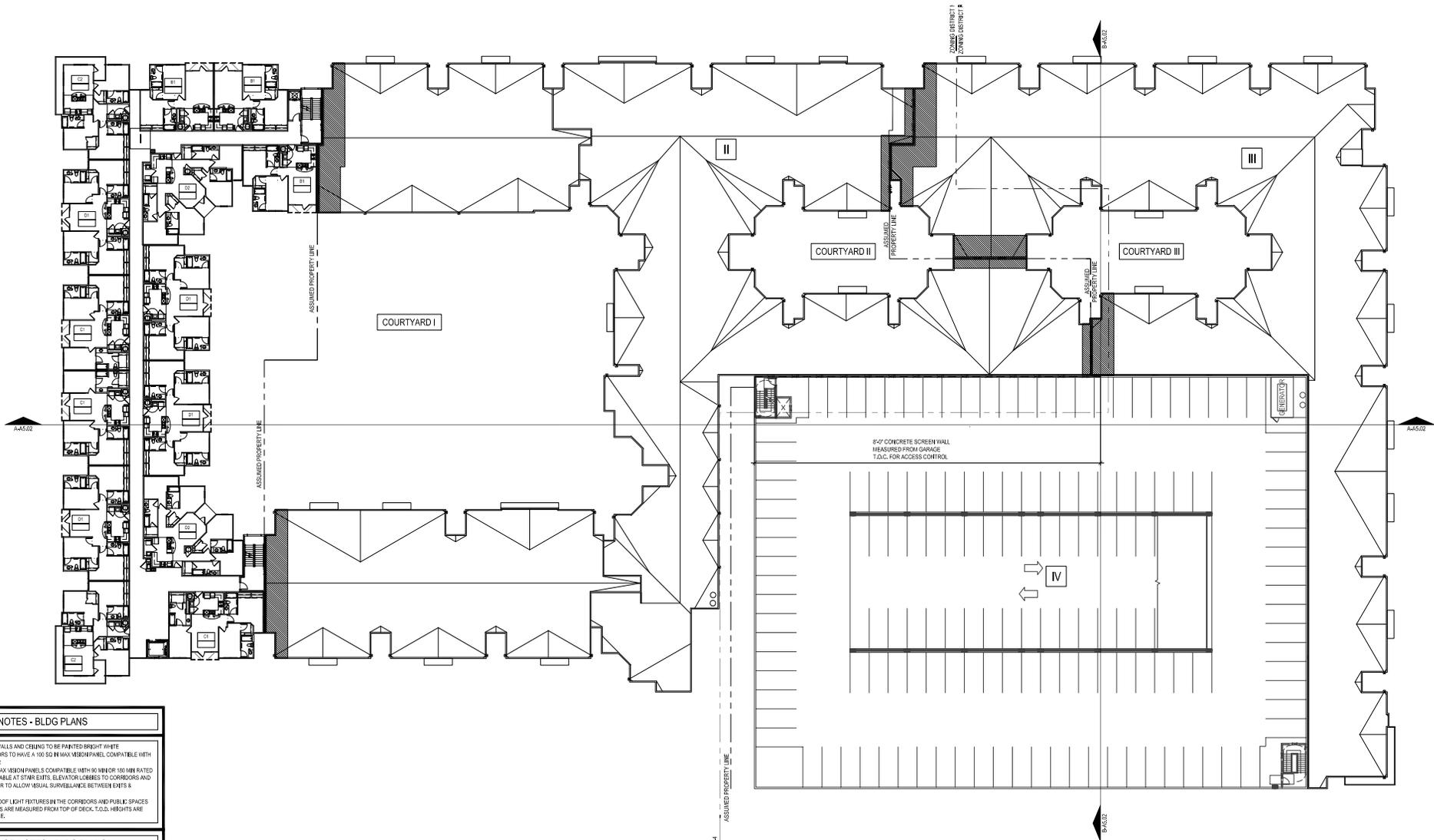


6TH FLOOR PLAN

SCALE: 1" = 20'-0" (24"x36" SHEET)

- | NOTES - BLDG PLANS |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> - GARAGE COLUMNS, WALLS AND CEILING TO BE PAINTED BRIGHT WHITE - ALL TRASH ROOM DOORS TO HAVE A 100 SQ IN MAX VISION PANEL COMPATIBLE WITH A 44 MIN RATED DOOR - PROVIDE 100 SQ IN MAX VISION PANELS COMPATIBLE WITH 90 MIN OR 100 MIN RATED DOOR WHERE APPLICABLE AT STAIR EXITS, ELEVATOR LOBBIES TO CORRIDORS AND GARAGE TO CORRIDOR TO ALLOW VISUAL SURVEILLANCE BETWEEN EXITS & SURROUNDINGS. - PROVIDE VANDAL PROOF LIGHT FIXTURES IN THE CORRIDORS AND PUBLIC SPACES - ALL PARALLEL HEIGHTS ARE MEASURED FROM TOP OF DECK. T.O.D. HEIGHTS ARE MEASURED FROM F.F.E. |
| GARAGE NOTES - BLDG PLANS |
| <ul style="list-style-type: none"> - PROVIDE 2 FT DOOR SWING ZONE BETWEEN SIDE OF PARKING SPACE & WALL, BIKE PARKING OR FENCE GATE. - 24" MIN. DRIVE RISE & 6" X 8" X 12" MIN. PARKING SPACE, TYPICAL. - PARKING SPACES TO BE LOCATED 2'-0" MIN FROM ADJACENT WALL, FENCE OR BIKE - ALL BIKE RACKS MUST MAINTAIN 6' LONG USABLE SPACE FOR A BICYCLE, 30" BETWEEN EACH RACK AND 12" CLEAR OBSTACLES BEHIND RACK. - PROVIDE ENHANCED LIGHT AT TRASH ROLL OFFS IN GARAGE - COLUMNS MAY NOT PROJECT INTO THE REQUIRED PARKING SPACE (8'-0" X 18'-0" MIN) |

A-406



A-45.02

A-45.02

BASELINE

NOTES - BLDG PLANS	
+	GARAGE COLUMNS, WALLS AND CEILING TO BE PAINTED BRIGHT WHITE
+	ALL TRASH ROOM DOORS TO HAVE A 100 SQ FT MAX WOOD/PANEL COMPATIBLE WITH A 45 MIN RATED DOOR
+	PROVIDE 100 SQ FT MAX WOOD PANELS COMPATIBLE WITH 90 MIN OR 180 MIN RATED DOOR WHERE APPLICABLE AT STAIR EIGHTS, ELEVATOR LOBBIES TO CORRIDORS AND GARAGE TO CORRIDOR TO ALLOW VISUAL SURVEILLANCE BETWEEN EXITS & SURROUNDINGS.
+	PROVIDE VANDAL PROOF LIGHT FIXTURES IN THE CORRIDORS AND PUBLIC SPACES
+	ALL PARAPET HEIGHTS ARE MEASURED FROM TOP OF DECK T.O.D. HEIGHTS ARE MEASURED FROM F.F.E.
GARAGE NOTES - BLDG PLANS	
+	PROVIDE 2 FT CLEAR SWING ZONE BETWEEN SIDE OF PARKING SPACE & WALL, BIKE PARKING OR FENCE GATE
+	22' MIN DRIVE B/E & 8'-6" X 18'-0" MIN PARKING SPACE, TYPICAL
+	PARKING SPACES TO BE LOCATED 2'-0" MIN FROM ADJACENT WALL, FENCE OR BIKE
+	ALL BIKE RACKS MUST MAINTAIN 6' LONG USABLE SPACE FOR A BICYCLE, 30" BETWEEN EACH RACK AND 1' CLEAR DISTANCE BEYOND RACK
+	PROVIDE ENHANCED LIGHT AT TRASH HALL OFFS IN GARAGE
+	COLUMNS MAY NOT PROJECT INTO THE REQUIRED PARKING SPACE (8'-6" X 18'-0" MIN)

7TH FLOOR PLAN

SCALE: 1" = 20'-0" (24"X36" SHEET)



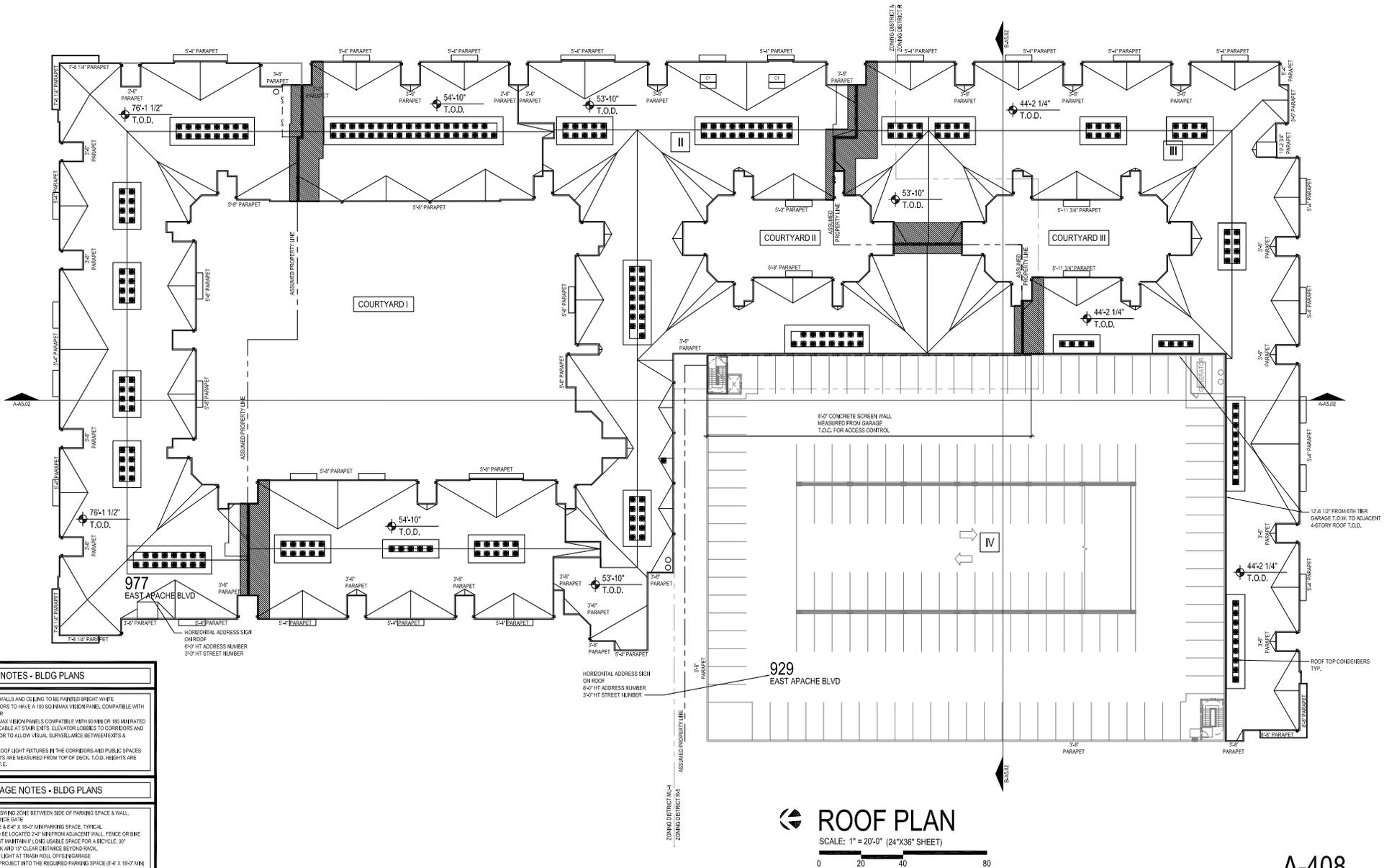
A-407

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THE DISTRICT
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 2011 / 10 / 17
 TEMPE, AZ
 HPA #11122



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NOTES - BLDG PLANS	
- GARAGE COLUMN, WALLS AND CEILING TO BE PAINTED BRIGHT WHITE	
- ALL TRASH ROOM DOORS TO HAVE A 90 SQ IN MAX VISION PANEL COMPATIBLE WITH A 45 MIN RATED DOOR	
- PROVIDE 100 SQ IN MAX VISION PANELS COMPATIBLE WITH 90 MIN OR 180 MIN RATED DOOR WHERE APPLICABLE AT STAIR EXITS, ELEVATOR LOBBIES TO CORRIDORS AND GARAGE TO CORRIDOR TO ALLOW VISUAL SURVEILLANCE BETWEEN EXITS & SURROUNDINGS	
- PROVIDE VANDAL PROOF LIGHT FIXTURES IN THE CORRIDORS AND PUBLIC SPACES	
- ALL PARAPET HEIGHTS ARE MEASURED FROM TOP OF DECK, T.O.D. HEIGHTS ARE REQUIRED FRONT 7.5.	
GARAGE NOTES - BLDG PLANS	
- PROVIDE 3 FT DOOR SWING ZONE BETWEEN SIDE OF PARKING SPACE & WALL, BIKE PARKING OR FENCE GATE	
- 20'-0\"/>	
- ALL BIKE RACKS MUST MAINTAIN 6' LONG USABLE SPACE FOR A BICYCLE, 30\"/>	
- PROVIDE ENHANCED LIGHT AT TRASH ROLL OFFS IN GARAGE	
- COLUMNS MAY NOT PROJECT INTO THE REQUIRED PARKING SPACE (9'-6\"/>	

ROOF PLAN

SCALE: 1" = 20'-0" (24"X36" SHEET)

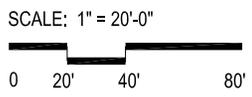
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A-408



NOTES - ELEVATIONS

HEIGHT EXCEPTIONS ARE ALLOWED PER ZOC 4.205 INCLUDING PENTHOUSE (NON-HABITABLE) FOR STAIRS, ELEVATORS OR VENTILATION



BLDG ELEVATIONS

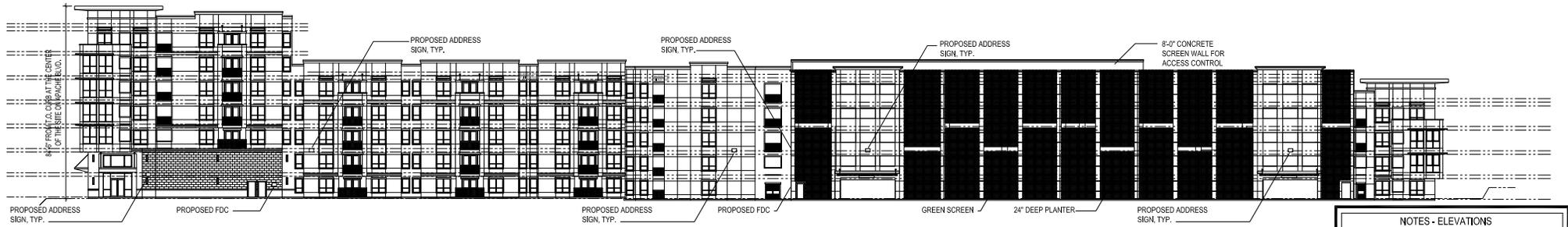
A-501

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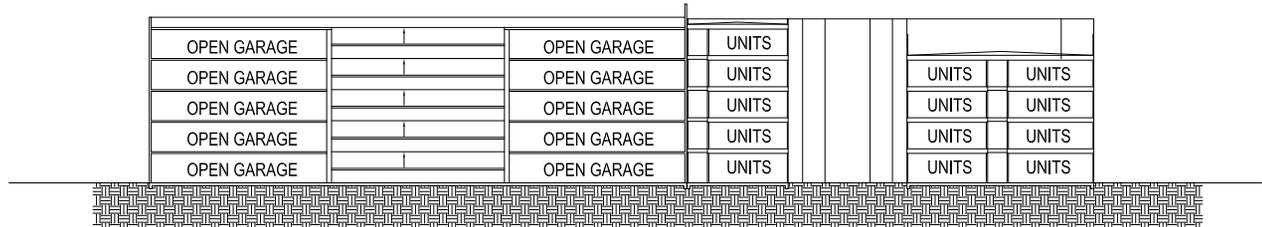
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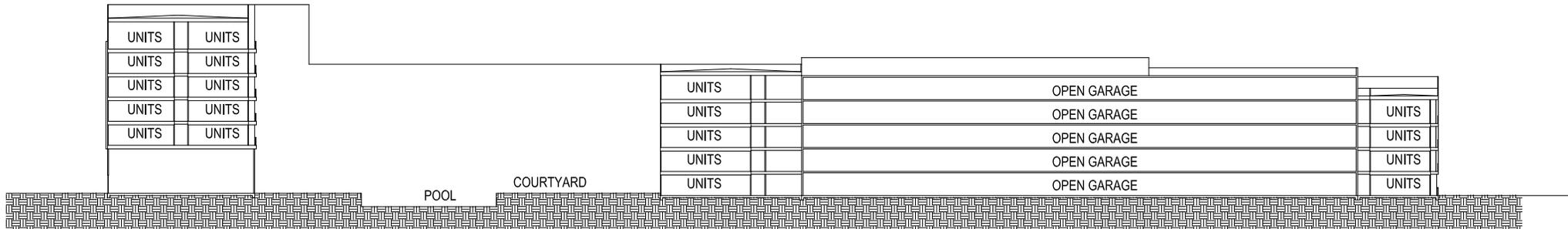
WEST ELEVATION

NOTES - ELEVATIONS

HEIGHT EXCEPTIONS ARE ALLOWED PER ZOC 4.205 INCLUDING PENTHOUSE (NON-HABITABLE) FOR STAIRS, ELEVATORS OR VENTILATION

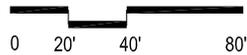


SECTION A-A



SECTION B-B

SCALE: 1" = 20'-0"



ELEVATION & SECTIONS

A-502

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PERSPECTIVE ALONG APACHE ROAD

A-100

THE DISTRICT
RESIDENTIAL HOUSING DEVELOPMENT, LLC.

2011 / 8 / 18 TEMPE, AZ HPA #11122



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**STUCCO
SW-6341**

**STUCCO
SW-6116**

**STUCCO
SW-6093**

**SPLIT FACE CMU
CREAM COLOR**

**TRIM
SW-7100** **METAL
BRONZE**



COLOR & MATERIAL BOARD

A-601

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THE DISTRICT
RESIDENTIAL HOUSING DEVELOPMENT, LLC.
2011 / 10 / 11 TEMPE, AZ HPA #11122



HUMPHREYS & PARTNERS ARCHITECTS L.P.
5339 Alpha Road, Suite 900 Dallas, TX 75240 (972) 701-9636 (972) 701-9639
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DALLAS CHARLOTTE IRVINE LAS VEGAS NEW ORLEANS NORFOLK ORLANDO PHOENIX



EAST ELEVATION



SOUTH ELEVATION

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Architectural conceptual site plans are for feasibility purpose
 only. Revisions may occur due to further investigation from
 regulatory authorities and building code analysis. Dimensions
 shown are of a strategic intent only. Refer to surveys and civil
 drawings for technical information and measurements.

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 OCTOBER 30, 2011 TEMPE, AZ HPA#11122



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NORTH ELEVATION



WEST ELEVATION

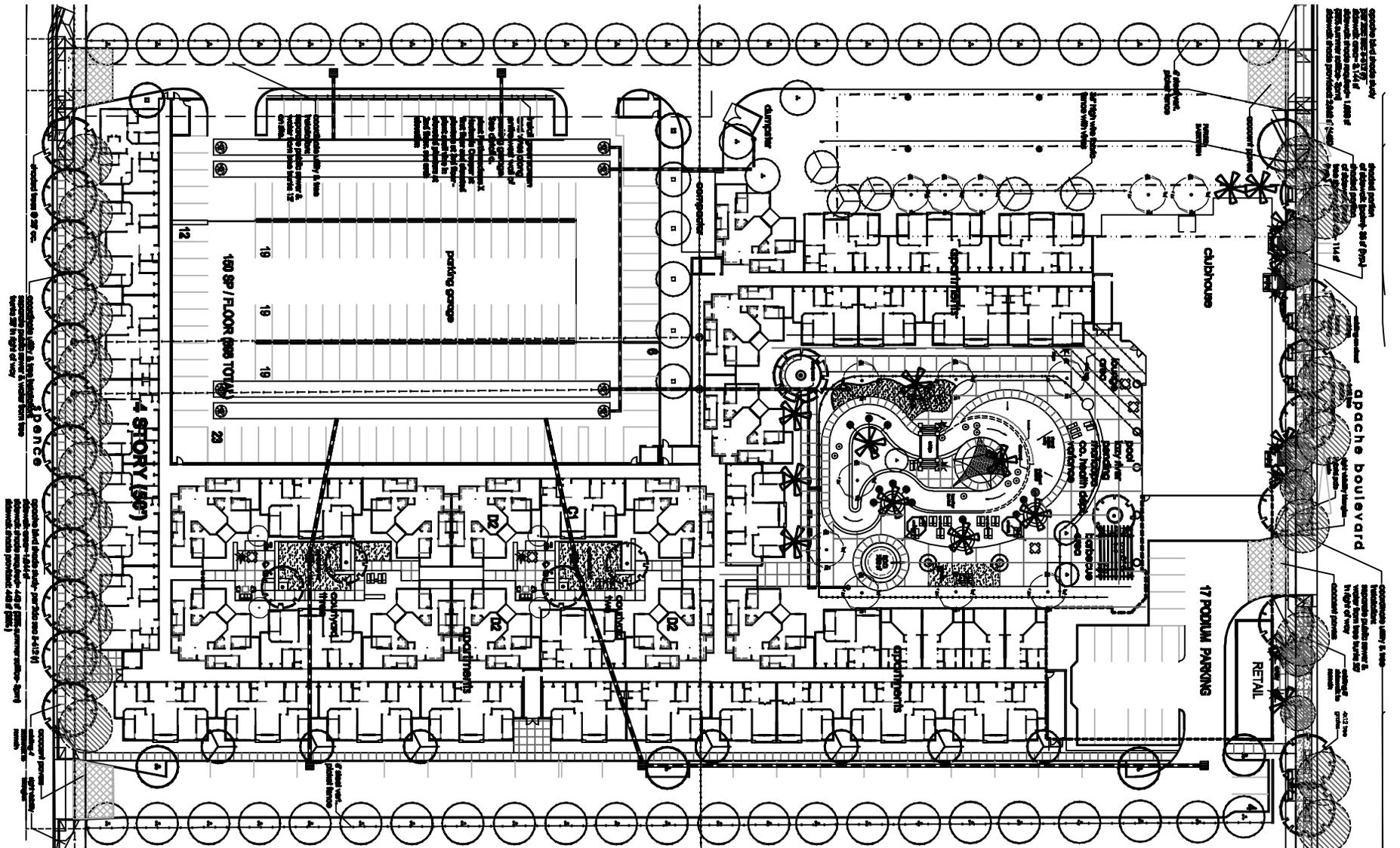
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PLANT LEGEND

TREES

	NAME	SIZE/QUANTITY
	PHOENIX DACTYLIFERA DATE PALM	18-20' /
	GLEDITSIA TRIACANTHOS HONEY LOCUST	36" BOX/, 2" CAL
	QUERCUS VIRGINIANA LIVE OAK	36" BOX/, 2" CAL
	PROSOPIS CHILENSIS CHILEAN MESQUITE	48" BOX/, 4" CAL
	CERCIDIUM F. 'DESERT MUSEUM' DESERT MUSEUM PALO BREA	24" BOX/ , 1" CAL
	ACACIA STENOPHYLLA SHOESTRING ACACIA	24" BOX/ , 1" CAL

SHRUBS

	NAME	SIZE/QUANTITY
	PACHYCEREUS SCHOTTII'MONT.' TOTEM POLE CACTUS	15 GAL IN POTS/
	VAUQUELINIA CALIFORNICA ARIZONA ROSEWOOD	5 GAL./
	DODONEA VISCOSA HOP BUSH	5 GAL./
	CALLIANDRA CALIFORNICA BAJA RED FAIRY DUSTER	5 GAL./
	RUPELLIA BRITTONIANA KATY RUPELLIA	5 GAL./
	TECOMA STANS AZ YELLOW BELLS	5 GAL./
	MUHLENBERGIA RIGIDA NASHVILLE	5 GAL./
	ASCLEPIAS SUBULATA DESERT MILKWEED	5 GAL./
	SALVIA GREGGII AUTUMN SAGE	5 GAL./
	RUPELLIA PENINSULARIS BAJA RUPELLIA	5 GAL./
	NERIUM OLEANDER PETITE PINK OLEANDER	5 GAL./
	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	5 GAL./
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL./
	BOUGAINVILLEA SP. RED	15 GAL./
	PARTHENOCISSUS SP. HACIENDA CREEPER	5 GAL./
	VIGNA CARACALLA SNAIL VINE	5 GAL./

GROUND COVERS/VINES

	NAME	
	LANTANA 'NEW GOLD' NEW GOLD LANTANA	1 GAL./
	VERBENA RIGIDA SANDPAPER VERBENA	1 GAL./
	LANTANA M PURPLE TRAILING LANTANA	1 GAL./

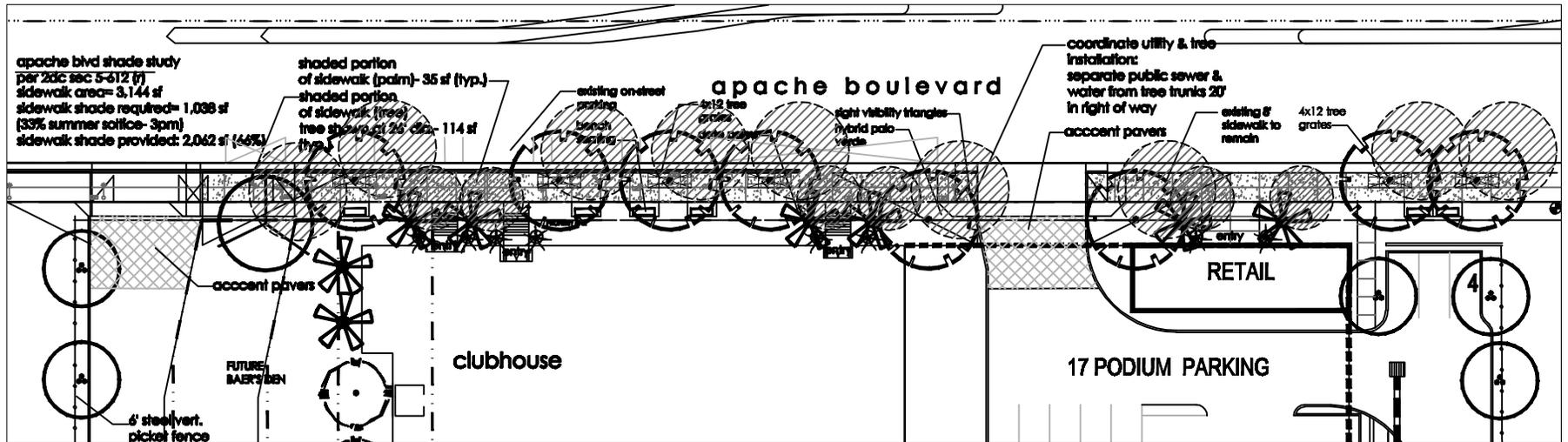
MATERIALS

	2" THICK 5/8" MINUS DECOMPOSED GRANITE IN ALL NON-TURF AREAS "DESERT GOLD"	
	SYNLAWN SYNAUGUSTINE PREMIUM 230	
	MEXICAN BEACH PEBBLE	
	SURFACE SELECT BOULDERS	3'-5'/

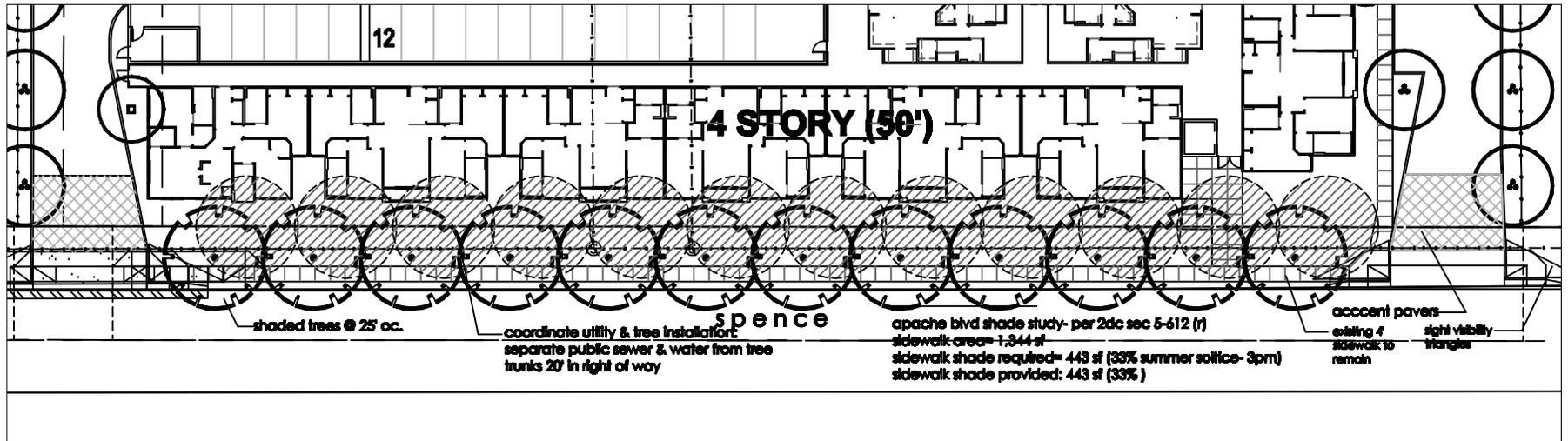
NOTE:

ALL TREES SHALL COMPLY WITH THE LATEST AMENDED ADDITION OF THE ARIZONA NURSERY ASSOCIATION-RECOMMENDED TREE SPECIFICATIONS. SEE ZONING 1903(6)(A), ZONING CODE

The District
Residential Housing Dev. LLC
Apache Blvd- Tempe, AZ



shade study- apache blvd
The District
Residential Housing Dev. LLC
Apache Blvd- Tempe, AZ

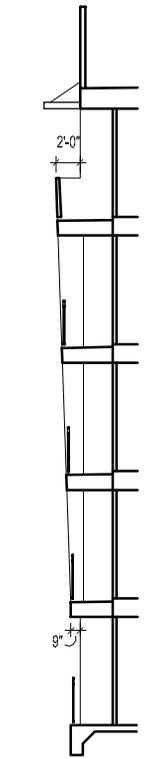


shade study- spence ave
The District
Residential Housing Dev. LLC
 Apache Blvd- Tempe, AZ

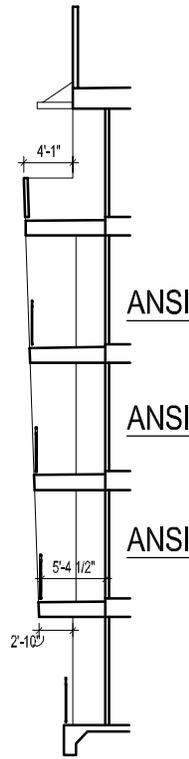
PLAN



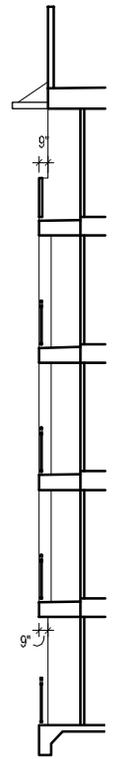
ELEVATION



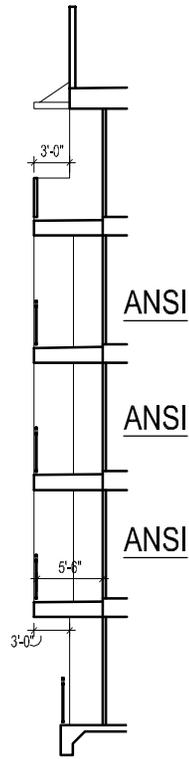
TYPICAL SECTION (TAPERED)



SECTION (TAPERED) AT TYPE 'A' UNITS



TYPICAL SECTION (FLAT)



SECTION (FLAT) AT TYPE 'A' UNITS

THE DISTRICT ON APACHE

TEMPE HOUSING, LLC

TEMPE, AZ HPA #17122

102111

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