

Staff Summary Report



Development Review Commission Date: 02/12/08

Agenda Item Number: _____

SUBJECT: Hold a public meeting for a Development Plan Review for COX REELS OFFICE & WAREHOUSE located at 6713 South Clementine Court.

DOCUMENT NAME: DRCr_Cox_Reels_021208

PLANNED DEVELOPMENT (0406)

SUPPORTING DOCS: Yes

COMMENTS: Request for **COX REELS OFFICE & WAREHOUSE (PL070548)** (Don Cox, D.C. Leasing, Inc., owner; Bob Winton, Winton Architects, Inc., applicant) consists of a single story warehouse and office building of approximately 34,485 s.f. on +/- 2.05 net acres located at 6713 South Clementine Court in the GID, General Industrial District. The request includes the following:

DPR08010 – Development Plan Review including site plan, building elevations, and landscape plan.

PREPARED BY: Kevin O'Melia, Senior Planner (480-350-8432)

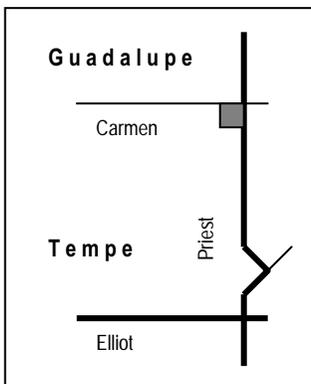
REVIEWED BY: Lisa Collins, Planning Director (480-350-8989) *LC*

LEGAL REVIEW BY: N/A

FISCAL NOTE: N/A

RECOMMENDATION: Staff – Approval, subject to conditions 1 - 17.

ADDITIONAL INFO:



Gross/Net Site Area	2.05 acres
Building Area	34,485 s.f.
Bld'g Lot Coverage	38.6 % (100% maximum allowed)
Building Height	35 ft. (35 ft. maximum allowed)
Building Setbacks	+/-50' front, +/-12' side, +/-30' reverse front, +/-121' street side (minimum 25' front, 0' side, 25' reverse front, 25' street side)
Landscape Area	10,328 s.f.
Landscape Coverage	11.6 % (10 % min. allowed)
Vehicle Parking	36 spaces (36 minimum required)
Bicycle Parking	6 spaces (5 minimum required)

The site is in an industrial park immediately north of the Southwest Overlay District and abuts the southern boundary of the Town of Guadalupe. The proposed office/warehouse building will replace an existing building on site. The proposal includes a tall single story, tilt slab concrete structure with a three color scheme. Glazed windows and doors are in the northeastern and southwestern portions of the building where office functions are located and at the major building corners. Otherwise the walls are articulated with shallow raised vertical pilasters, exposed downspouts and color variations. A neighborhood meeting is not required with this application.

PAGES:

1. List of Attachments
2. Comments / Reasons for Approval
- 3-4. Conditions of Approval
- 5-6. Code / Ordinance Requirements
7. History & Facts / Zoning & Development Code Reference

ATTACHMENTS:

1. Location Map
2. Aerial Photo
3. Letter of Explanation
4. Project Data
5. Site plan
6. Floor plan
7. Color Building Elevations
8. Building Section
9. Landscape Plan
- 10-12 Site Photographs

COMMENTS:

The "L" shape site is on the west side of Priest Road immediately south of residences in Guadalupe. The site has vehicle access to Clementine Court at the southwest site corner. The site street side yard (north) faces Carmen Street, which is the southern border of Guadalupe, and the site reverse frontage (east) faces Priest Drive. To the northeast of the site, an electrical substation is located at the southwest corner of the Carmen/Priest intersection. The site, Lot 3, is in the northeast corner of the Paye Elliot/I-10 Industrial Park. The owner of Lot 3 is also operating the business in the property immediately west and will combine business operations on the two properties. This owner has also developed the industrial property south of Lot 3.

This is a modification of an earlier Development Plan approved by the Commission on February 27, 2007.

The proposed building is a tall single story, 34,485 s.f. concrete tilt slab and steel and lightweight concrete roof frame structure with painted, exterior wall surfaces. The warehouse interior has a 24 ft. clear height. The roof and roof top mechanical equipment are concealed behind a parapet. This building typology is typical of that found in the Paye Elliot/I-10 Industrial Park.

The proposed building in plan includes a large warehouse in the east and center and a three space truck loading ramp embedded between northwest and southwest office wings at the west of the building. The truck loading function and the electrical service entrance section are shielded from street view by the recess in the building. The business entrances face west at the northwest and southwest corners of the building. The elevations are articulated with shallow, raised concrete elements that resemble pilasters on the north, east and south elevations. These raised pilaster elements are widened on the west elevation and shelter the recessed entrance storefronts for the two offices.

The exterior walls are organized with full height corner windows at the northeast and southeast building corners, a grid of expansion joints, exposed wall mount downspouts and security lights that are pleasingly composed with the raised pilaster elements, office windows and entrance storefronts. The composition is enhanced with color: the building field color is a violet-gray (Cast Pebble) and is located on the upper walls, the downspouts and the service doors. The primary building accent color is a reddish-brown (Ravenwood), and is applied at the base of the elevations (0 ft. to 8 ft.), at security light housings, at raised accent pilasters at the north, east and south elevations and at the west entrance elevation. A second pink-white accent color (Pink Reed) is applied to the large roll-up doors at the north, south and west elevation entrances.

This office/warehouse is a welcome addition to the industrial base of the city.

REASONS FOR APPROVAL:

1. The proposal meets the General Plan Projected Land Use for this site.
2. The proposal is consistent with the standards of the General Industrial District.
3. The project will meet the development standards required under the Zoning and Development Code.

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. DEVELOPMENT REVIEW COMMISSION MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

DPR08010 CONDITIONS

General

1. Your drawings must be submitted to the Development Services Building Safety Division for building permit by February 12, 2009 or Development Plan Review approval will expire.

Site Plan

2. Do not disturb existing perimeter walls at the electrical substation to the north and east of the property. It is not necessary to disturb the existing perimeter wall along the west edge of the property. If any of these walls are disturbed or removed, secure permission of adjacent property owner and replace wall with a minimum 8'-0" high masonry wall.
3. Demolish existing fence block perimeter walls on Carmen and Priest frontages. Replace these with minimum 8'-0" high, minimum 8" (nominal) thickness concrete masonry unit walls. Steps in top of walls are allowed to follow topographic changes along the length of the wall to maintain the minimum 8'-0" height. Construct perimeter walls of center score exposed 8x8x16 concrete masonry units, where the 8x8x8 grid faces outward toward Carmen and Priest. Paint all exposed wall surfaces either to match the "Cast Pebble" color of the building or provide a color that is complimentary to the building and to the adjacent development to the south. Razor wire or barbed wire is not allowed on top of these walls.
4. Shift the refuse enclosure in the parking row north of the building to align with the "tee" of the turnaround and facilitate trash truck use of the turnaround with a minimum of back-up maneuvering. Provide landscape islands on either side of enclosure. Contact Ron Lopinski of the Solid Waste Division (480-350-8132 or ron_lopinski@tempe.gov) for placement approval.
5. Finish transformer box, electrical and other utility equipment in a neutral color (subject to utility provider approval) that compliments the color scheme of the building.

Floor Plans

6. Public Restroom Security:
 - a. Lights in restrooms:
 - 1) Provide 50% night lights
 - 2) Activate by key or remote control mechanism
 - b. Single user restroom door hardware: Provide a key bypass on the exterior side.

Building Elevations

7. Provide complete exterior elevations including those facing the recessed truck well areas not visible on the major elevations. Locate service entrance section on north elevation facing truck yard as indicated.
8. The colors included with the submittal (Pink Reed 8310W, Cast Pebble 8313M, and Ravenwood 8315D) are part of the approval. Indicate the color, type and reflectivity of glass used in the storefront system. Color selection subject to approval by planning staff during building plan check process.
9. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
10. Exposed roof overflows and downspouts as indicated on the south and north elevations and painted "Cast Pebble" for the entire height are acceptable in the positions, quantity and color indicated on the elevations. Provide concrete splash blocks at drain outlets.

11. Incorporate lighting, address signs, incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the architectural design of the building elevations. Building mount lighting or C.C.T.V. is not allowed above top of parapet. Exposed conduit, piping, etc. is not allowed on the exterior elevations unless a creative conduit surface design that compliments the architecture is separately reviewed and approved by the Development Review Commission.

Lighting

12. Design security lighting with house side shields for lighting adjacent to Carmen Street.

Landscape

13. Protect and maintain the existing trees on the site frontage facing Priest and the single specimen in the site frontage facing Carmen. Provide under-story pruning to limit "urban camping" locations. Periodically irrigate existing trees in the Priest frontage and on site. It is not necessary to treat the existing remaining tree in the Carmen frontage or in the frontages in front of the electrical substation.
14. Coordinate landscape layout with grading and drainage design, including as follows:
 - a. Do not install decomposed granite in the Carmen Street frontage.
 - b. Grout rip rap for concentrated drainage areas securely into a concrete bed. Provide integral color concrete that does not contrast with the color of the rip rap. Alternately, delete the concrete bed by providing rip rap that is either 1-1/2" or less in size or 16" and greater in size.
15. Irrigation notes:
 - a. Staff recommends (does not require) a dedicated landscape water meter (dedicated landscape water is charged without an accompanying sewer fee).
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Schedule 40 PVC mainline and class 315 PVC 1/2" feeder line is acceptable. Class 200 PVC feeder line allowed for sizes greater than 1/2". Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing or inside the building.
 - d. Hardwire power source to controller (no receptacle) regardless of mounting location.
 - e. Controller valve wire conduit may be exposed if the controller is mounted inside the building. For exterior installation, conceal the power conduit and valve wire conduit to the controller within a pedestal mount or in the wall on which the controller is mounted.
 - f. Enclose backflow preventers for irrigation and domestic water use each in a pre-manufactured, pre-finished, lockable cage.
16. Include requirement in site landscape work to de-compact soil in new planting areas on site and remove asphalt and other construction debris from planting areas prior to landscape installation.

Signage

17. Provide two 0'-12" high address number signs on the west elevation near the southwest and northwest corners of the building. Locate the signs near the top of the wall but allow room for a light fixture at least 18" above the address that is not above the top of parapet. Conform to the following for address signs:
 - a. Provide street number.
 - b. Compose of individual mount, metal reverse pan channel characters.

CODE / ORDINANCE REQUIREMENTS

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCE THAT PLANNING STAFF OBSERVES ARE PERTINENT TO YOUR CASE. THE BULLETED ITEMS ARE INCLUDED TO ALERT THE DESIGN AND CONSTRUCTION TEAMS AND ASSIST IN OBTAINING A BUILDING PERMIT. THESE ITEMS ARE NOT AN EXHAUSTIVE LIST.

- Verify comments by the Public Works, Development Services, and Fire Departments given on the Preliminary Site Plan Review dated November 17, 2006. Direct questions to the appropriate department, and coordinate any necessary modifications with all concerned parties, prior to completion of building permit process. Planning staff reviews Construction Documents submitted to the Building Safety Division to ensure consistency with the Development Plan Review approval.
- By agreement of the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use. Have the landscape architect and mechanical engineer submit reports during the building plan check process. Report example is contained in Office Procedure Directive # 59, available from Building Safety (480-350-8341). Contact Pete Smith of Water Resources Division (480-350-2668 or pete_smith@tempe.gov) if questions regarding the content of the water conservation reports.
- Comply with applicable state and federal laws regarding discovery and processing of archeological artifacts uncovered during construction.
- Requirements of the Zoning and Development Code apply to any application. Become familiar with the ZDC to avoid unnecessary review time and reduce the potential for multiple plan check submittals. The ZDC may be accessed through www.tempe.gov/zoning or purchased at Development Services.
- Standard Details:
 - Tempe Standard "T" details may be accessed through www.tempe.gov/engineering or purchased from the Engineering Division, Public Works Department.
 - Tempe Standard "DS" details for refuse enclosures may be accessed through www.tempe.gov or may be obtained at Development Services.
- For large backflow prevention or similar ground-mount devices handling 3" or larger water lines, provide a masonry screen wall that conceals the device from the street in conformance with Standard detail T-214.
- Coordinate site paving and refuse enclosure layout on site, landscape, irrigation and civil plans. Indicate buried utility easements on plans to coordinate auxiliary structures and planting with these easements.
- Subject to Fire Department requirement to allow truck access within 150'-0" of all portions of building ground level (Jim Walker, 480-350-8341), include two fireman access gates in the Priest frontage perimeter wall. Equip gates with Knox Box hardware to allow emergency ingress. Construct gates of steel vertical pickets with maximum 4" clearance between pickets. Design gate panel with horizontal members spaced to inhibit climbing.
- Subject to Public Works Department requirement (Ken Halloran 480-350-8200), underground existing overhead utilities (except 69kv lines) on Priest and Clementine frontages and on site. It is not required to underground existing overhead utilities in the Guadalupe public right of way.
- Add an intermediate landscape island in the twenty-five space row along the west property line. Ensure minimum parking space quantity is met for this building.
- Verify with Building Safety Division (Roger Vermillion 480-350-8341) whether disabled parking is required adjacent to the northwest business entrance. Provide disabled accessible parking signs per standard detail T-360.

- Locate mailbox (if exterior) adjacent to entrance to provide excellent surveillance and activity support.
- Indicate sight visibility triangles on site and landscape plans. Keep site features out of sight visibility triangles that impede visibility from site driveway (other than thin items such as tree trunks or light poles). Site features including equipment boxes, street furnishings, shrubs, etc., shall not exceed 2'-0" in sight visibility triangles. Identify speed limit for Clementine Court. Consult "Corner Sight Distance" leaflet, available from Development Services Counter or from Transportation (John Brusky, 480-350-8219) for construction of sight visibility triangles.
- Provide visual surveillance by means of glazing assemblies in service doors. Provide 3" wide high strength plastic or laminated glass security vision panel, located between 43" and 66" from the bottom edge of the door.
- Lower the height of the building to conform to the 35'-0" height limit in the GID district, as measured from top of curb in center front of property on Clementine Court to highest building parapet height. Screen exterior roof mount mechanical equipment from surrounding view on all four sides by parapet.
- Coordinate building plans and elevations with locations of proposed trees, shrubs and vines in order to avoid conflicts between mature plants and address number signs located on building elevations and freestanding signs.
- Conform to the illumination requirements of ZDC Sec. 4-801 through 4-805 and follow the guidelines listed under appendix E "Photometric Plan" of the Zoning and Development Code.
- Provide additional tree(s) in the Priest Road frontage as required so existing plus installed trees east of the perimeter wall meet or exceed the minimum frontage tree coverage. Refer to ZDC Sec. 4-703 (A). It is not necessary to install plant material in the public right of way on the south side of Carmen Street (north of the perimeter wall), since this is a neighboring municipality.
- Provide one non-deciduous tree of minimum 24" box installation size per each parking space landscape island. Provide at least five groundcovers in each of the landscape islands.
- Building or ground-mount identification signs (if proposed) are processed under separate permit and are not part of this Development Plan. Obtain sign permit for any building mount signs and monument identification signs. Follow ZDC Part 4 Chapter 9 with the design of the signs. Way finding signs (if proposed) may not require a sign permit, depending on size. Way finding signs are subject to review by Planning Division staff during plan check process and Planning Inspection staff prior to Certificate of Occupancy.
- Self illuminate or direct illuminate building address signs.

HISTORY & FACTS:

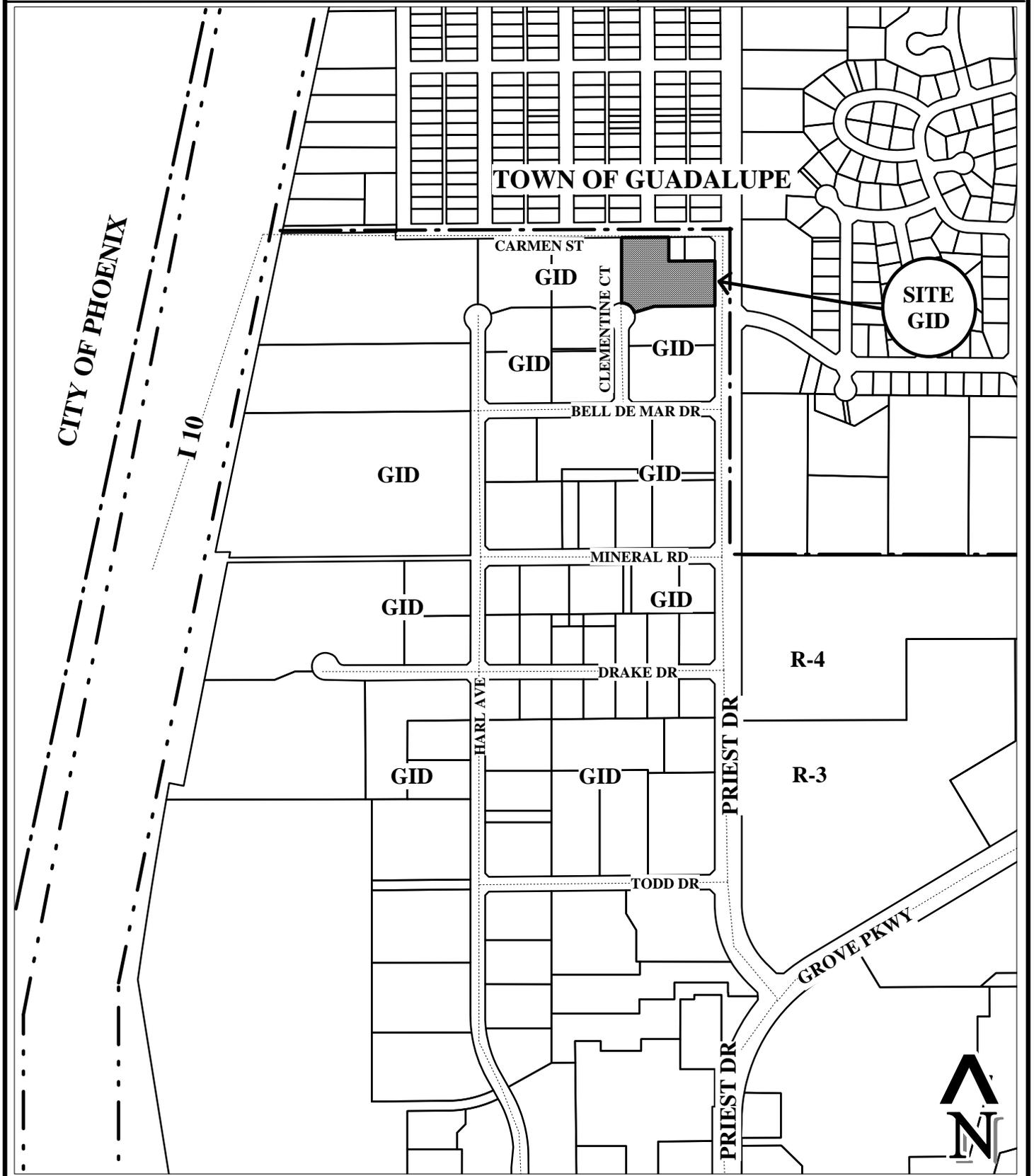
- April 19, 1980: City council approved the request by John Paye for an Industrial Subdivision of 59.00 acres under the name "Paye – Elliot/I-10" consisting of 19 Lots.
- May 15, 1980: City Council approved the request by John Paye for an Industrial Subdivision of 59.12 acres under the name "Paye – Elliot/I-10 Amended" consisting of 21 Lots. Note: The amended Subdivision includes Lot 3 in its present configuration
- February 03, 1988: Design Review Board approved the request for building elevations, site and landscape plans by Dana Kepner Company located at 6713 South Clementine Court in the I-1, Light Industrial District, subject to ten conditions.
- March 01, 1988: Hearing Officer approved the variance request by Dana Kepner Company to waive the required service door screening for two 12 ft. x 12 ft. overhead rolling doors at 6713 South Clementine Court in the I-1, Light Industrial District. Notes: these doors face north (to Carmen St) and east (to Priest Road). Ordinance 808 requires bay doors in the I-1 District to be screened from street view.
- October 5, 1988: Design Review Board declined to reconsider approval of condition 4. Therefore, all masonry walls on site are to be stuccoed and painted, both sides, to match the building.
- February 27, 2007 Development Review Commission approved the building elevations, site plan and landscape plan for an approximately 34,600 sf. one story office/warehouse building at 6713 South Clementine Court in the GID, General Industrial District.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review

COX REELS

PL070548



Location Map



COX REELS (PL070548)

COXREELS, INC.

PROJECT NARRATIVE

This project was previously an approved DRC Development Plan (DS061436).

The Owner has chosen to remodel the NWC of the building by shifting the triple truckwell South and creating two office/entry areas on the West elevation.

The site changes a little at the South side of the retention area, as does the NWC building footprint, otherwise everything else remains as previously approved.

DEC 21 2007

PROJECT DATA

ADDRESS: 6713 South Clementine Court

ZONING: GID

PARCEL SIZE: 89,317 S.F. (2.05 Acres)

BUILDING AREAS:
Offices = 3,600 S.F.
Warehouse = 30,885 S.F.
Total = 34,485 S.F.

LOT COVERAGE: 34,485/89,317 = 38.6%

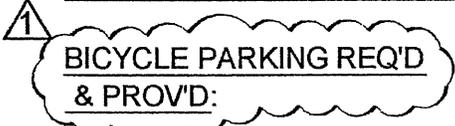
CONSTRUCTION TYPES: VB, AFES

PARKING REQUIRED:
3600/300 = 12 Spaces
10,000/500 = 20 Spaces
20,885/5000 = 4 Spaces
Total = 36 Spaces

PARKING PROVIDED: 36 Spaces

ACCESSIBLE PARKING REQ'D: 2 Spaces

ACCESSIBLE PARKING PROV'D: 2 Spaces

 BICYCLE PARKING REQ'D
& PROV'D: 5 Spaces required, 6 spaces provided

LANDSCAPE ON SITE REQ'D: 10% x 89,317 = 8,932 S.F.

LANDSCAPE ON SITE PROV'D: 10,328 S.F.

LEGAL DESCRIPTION: Lot 3 "Paye-Elliot/I10 Amended" according to Book 266 of maps, Page 11, records of Maricopa County, AZ

OWNER: Coxreels, Inc.
6720 South Clementine Court
Tempe
480-820-6396

ALLOWABLE BUILDING HEIGHT: 60' maximum
Single story, to top of parapet

PROJECT NARRATIVE:

It is the intent of the Owner to level the existing small building and build the proposed new 34,600 S.F. office/warehouse facility. He will use it for part of his business which, currently, is to the West of this parcel, and lease out the front portion. The building will be concrete tilt up with a high tech look to it.

PROJECT DATA

ADDRESS: 6713 South Clementine Court

ZONING: GD

PARCEL SIZE: 88,317 S.F. (2.05 Acres)

BUILDING AREAS: Other: 3,960 S.F.
 Existing: 10,000 S.F.
 Total: 13,960 S.F.

LOT COVERAGE: 34,458.917 = 38.6%

CONSTRUCTION TYPES: VB, AFES = 12 Spaces

PARKING REQUIRED: 10,000/500 = 20 Spaces

36 Spaces

ACCESSIBLE PARKING REQD: 2 Spaces

ACCESSIBLE PARKING PROVIDED: 2 Spaces

BIKESHALE PARKING PROVIDED: 5 Spaces required, 6 spaces provided

LANDSCAPE ON SITE REQD: 10% x 88,317 = 8,832 S.F.

LANDSCAPE ON SITE PROVIDED: 10,328 S.F.

LEGAL DESCRIPTION: Ld & 3 Pkcs, Eff'd 10/19/2008, according to Book 268 of maps, Page 11, records of Maricopa County, AZ

OWNER: Covexco, Inc.

6720 South Clementine Court

Tempe

48-545-0386

ALLOWABLE BUILDING HEIGHT: 60' maximum

PROJECT NARRATIVE: Single story, to top of parapet

It is the intent of this set of drawings to level the existing building and building to be constructed on the site, and to provide a building which, in the future, will be a business which, currently, is to the West of this parcel, and lease out the front portion. The building will be concrete tilt up with a high tech look to it.

SITE PLAN KEYNOTES

1 Existing concrete vertical curb and gutter.

2 Existing concrete sidewalk.

3 Rework existing curb out per CHL drawings. Provide 1,320' of curb.

4 New 6" x 48" colored concrete sidewalk. Provide score joints at 5'-0" o.c. max. and all finish.

5 Ramp up 1:12 maximum. Provide truncated domes per detail SP-2.

6 6" concrete (6500 psi) sidewalk flush with pavement. Provide exposed aggregate finish.

7 Accessible signage mounted on wall per detail, Sheet SP-2.

8 4" wide yellow painted diagonal striping at 24" o.c. and at perimeter.

9 Accessible symbol painted on pavement per detail, Sheet SP-2.

10 3'-0" high, 8" Architectural CMU screen wall.

11 6" concrete curbing per CHL drawings.

12 Asphalt pavement per CHL drawings.

13 Triple truckwell with concrete per Structural drawings.

14 Sump pump and pit per Plumbing drawing. See CHL G&D for pipe location.

15 Existing walls to remain "as is".

16 Not used.

17 6" concrete (6500 psi) parapet flush with finish floor and asphalt pavement.

18 Retaining wall and 3'-5" steel pipe railing above (1'-2-5" Ngh).

19 Fire Department 20" bars and curbs for hatched turnaround. Provide 4" wide painted & diagonal striping per ZOC Fig. 4-52(c)(3).

20 Not used.

21 Remove existing 6" high CMU wall.

22 4" colored concrete slab for break area.

23 New fire hydrant.

24 7" colored concrete scored @ 5'-0" o.c. Match drive just south of this property.

25 Bicycle parking for 2.

26 Remove existing 6" high CMU wall and replace with new 6" high 8" CMU wall. Wall to be center scored with the last pattern facing Carmen Street.

27

CONSTRUCTION SITE PLAN NOTES

1. Building is set on site parallel to South property line.

2. See Grading and Drainage Plan for pavement elevations, retentions, etc.

3. At all roof areas, where mechanical unit occurs, provide cricket for positive drainage to roof drains or boxes and downspouts. Any roof loading not shown on plans shall be verified with a Certified Structural Engineer.

4. All roof slopes to be 1/4" ft. minimum to roof scupper/downspout and/or roof drains. See Framing Plan.

5. Parking stripes shall be 4" wide and painted white. (U.N.O.)

6. 1" polyurethane foam roof with acrylic-elastomeric coating with #6 limestone granule. Roof shall have year no-leak warranty and be inspected by manufacturer's representative prior to installation for roof deck integrity and curing coating application for compliance with manufacturer's specifications.

7. Soil Investigation report dated prepared by Temcon is part of these documents. Project No. RECOMMENDATIONS CONTAINED WITHIN SHOULD BE FOLLOWED.

NOTE: If any of these walls are removed or disturbed, secure permission of adjacent property owner and replace wall with a minimum 8'-0" high CMU wall.

PROPOSED BUILDING 34,485 S.F.

30'-0" ROW

20'-0"

15'-0"

10'-0"

5'-0"

15'-0"

10'-0"

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PROJECT DATA

ADDRESS: 6713 South Clementine Court

ZONING: GD

PARCEL SIZE: 88,317 S.F. (2.05 Acres)

BUILDING AREAS: Other: 3,960 S.F.
 Existing: 10,000 S.F.
 Total: 13,960 S.F.

LOT COVERAGE: 34,458.917 = 38.6%

CONSTRUCTION TYPES: VB, AFES = 12 Spaces

PARKING REQUIRED: 10,000/500 = 20 Spaces

36 Spaces

ACCESSIBLE PARKING REQD: 2 Spaces

ACCESSIBLE PARKING PROVIDED: 2 Spaces

BIKESHALE PARKING PROVIDED: 5 Spaces required, 6 spaces provided

LANDSCAPE ON SITE REQD: 10% x 88,317 = 8,832 S.F.

LANDSCAPE ON SITE PROVIDED: 10,328 S.F.

LEGAL DESCRIPTION: Ld & 3 Pkcs, Eff'd 10/19/2008, according to Book 268 of maps, Page 11, records of Maricopa County, AZ

OWNER: Covexco, Inc.

6720 South Clementine Court

Tempe

48-545-0386

ALLOWABLE BUILDING HEIGHT: 60' maximum

PROJECT NARRATIVE: Single story, to top of parapet

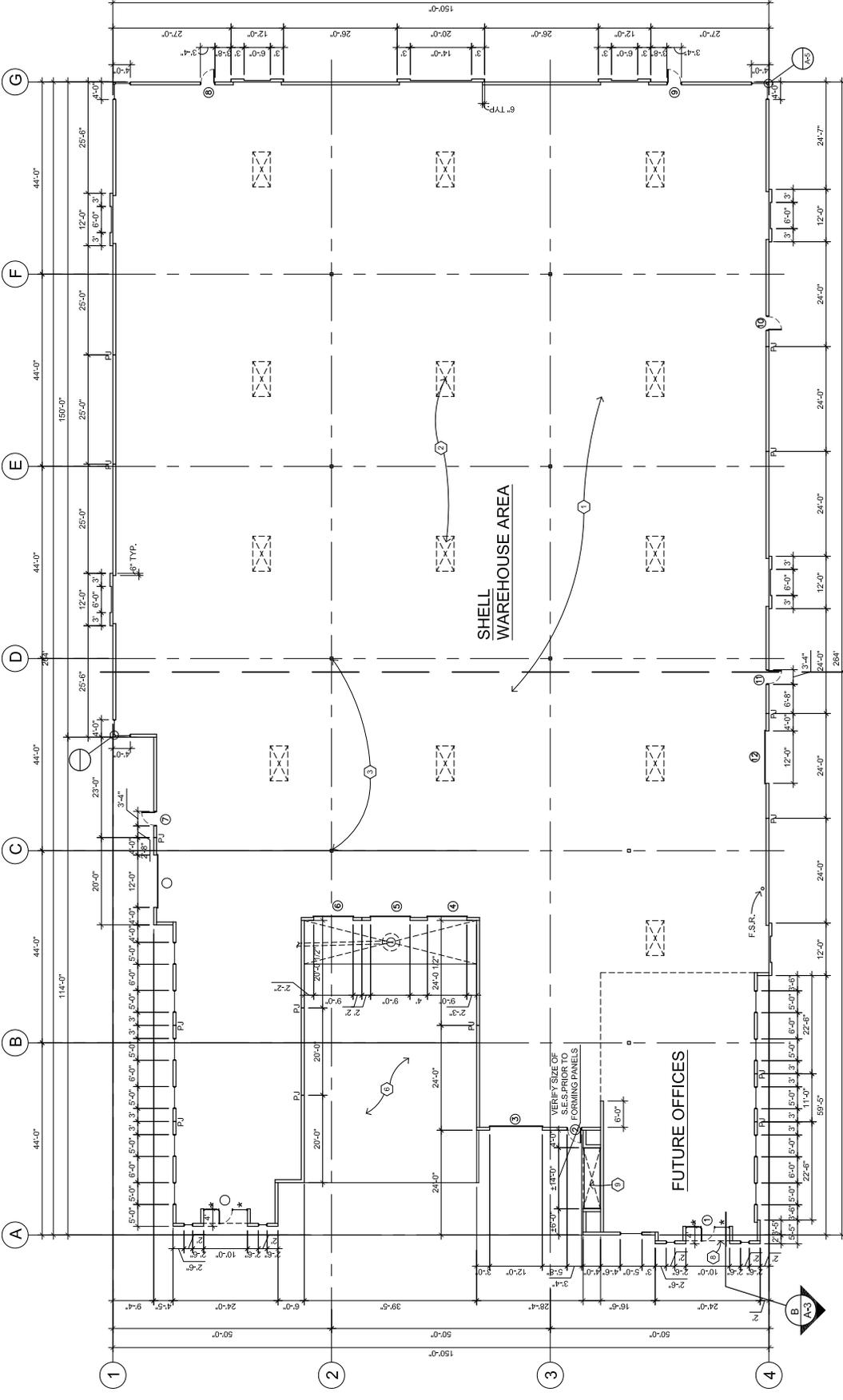
It is the intent of this set of drawings to level the existing building and building to be constructed on the site, and to provide a building which, in the future, will be a business which, currently, is to the West of this parcel, and lease out the front portion. The building will be concrete tilt up with a high tech look to it.

SITE PLAN KEYNOTES

1 Existing concrete vertical curb and gutter.

2 Existing concrete sidewalk.

3 Rework existing curb out per CHL drawings. Provide 1,320' of curb.</



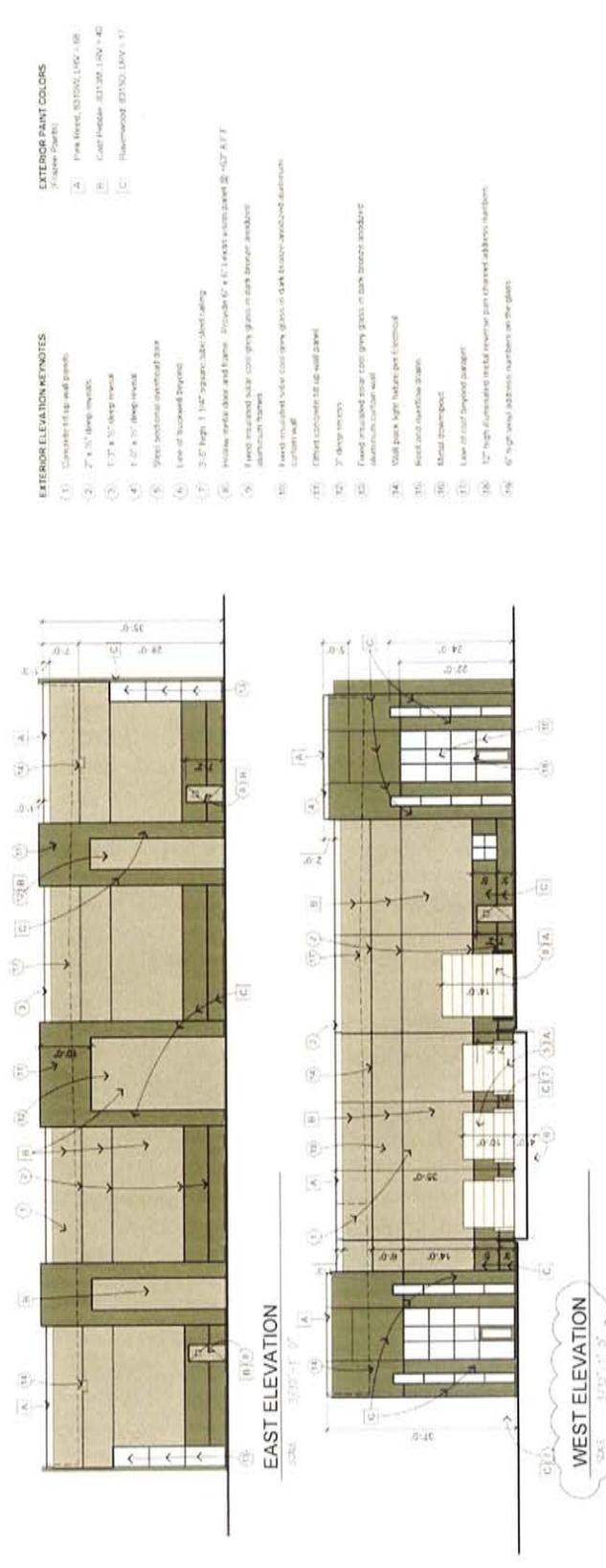
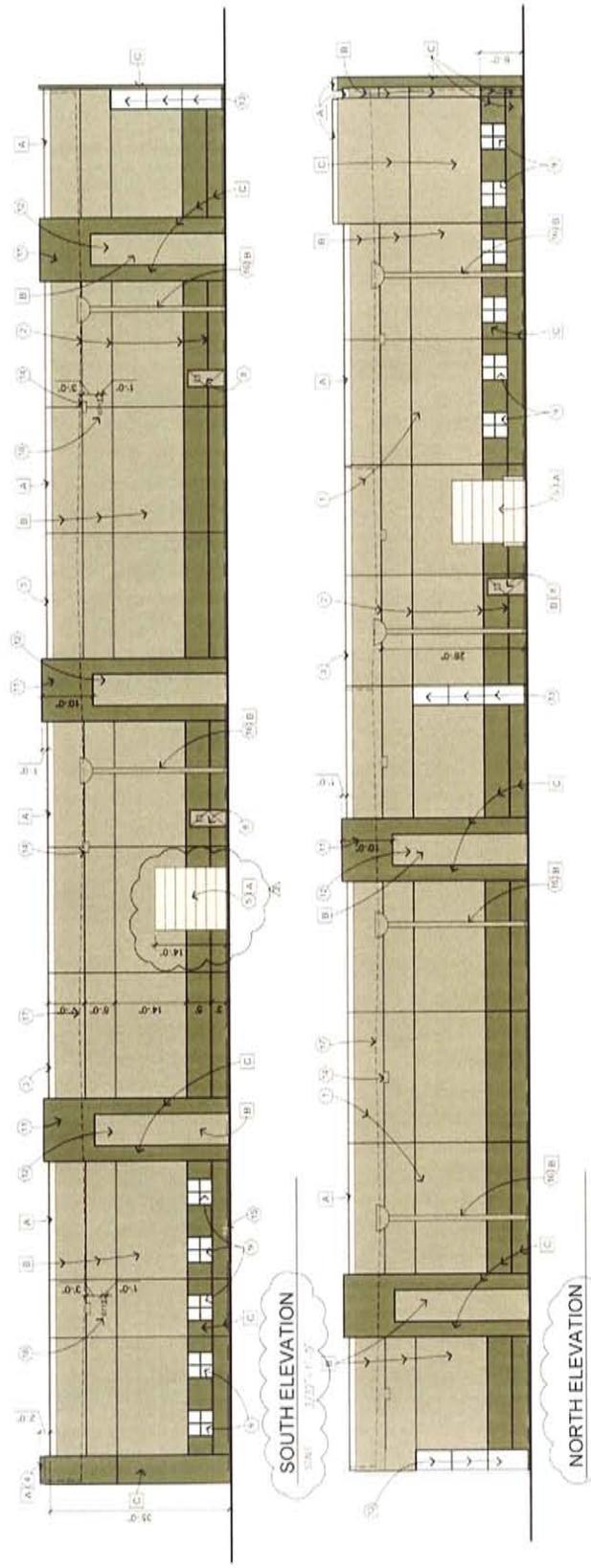
FLOOR PLAN
 SCALE: 3/32" = 1'-0"
 * INDICATES TEMPERED GLASS

FLOOR PLAN KEYNOTES

1. Concrete floor slab per Structural drawings.
2. 4 x 8 single dome smoke vents/knights per detail.
3. Steel column per Structural drawings.
4. Catch basin and drain pipe to retention area per Civil drawings.
5. Concrete tilt up retaining wall and 1 1/4" square tube railing to +3'-0" high.
6. Concrete truckwell per Structural drawings.
7. Roof ladder, landing and scuttle per details.
8. Line of tilt panel above.
9. Open to sky above.

GENERAL FLOOR PLAN NOTES

1. All walls to be separable from inside without the use of key specific special knowledge or effort. U.N.O. Surface mounted flush or surface bats are prohibited.
2. Paint all steel columns, ladders, metal doors and frames and steel walls with one (1) coat rust inhibiting primer and one (1) coat semi-gloss alkyl enamel. Colors by Owner.
3. Provide fire extinguishers (minimum rating 2A:10BC) U.N.O. with a maximum travel distance of 75' in all areas.
4. ☒ Indicates illuminated exit sign.
5. All insulation shall have flame spread rating not to exceed 25 and a smoke density not to exceed 450 when tested in accordance with I.B.C. Standard No. 716.2.
6. Paint exterior concrete tilt-up wall with two (2) coats of exterior poly-urethane paint top base coat. Primer to be applied after tilt wall has cured properly. Colors per Exterior Elevations.
7. Any exposed CMU wall (low screen walls and perimeter walls) shall be painted with two coats of CMU paint. Note: No paint on double walls. Paint steel side only of 8' high CMU wall.
8. Provide state approved 5 year guarantee of ferrite pre-treatment below all slabs on grade.
9. Caulk all interior and exterior wall joints and warehouse floor slab joints.
10. Warehouse to have reflective (al) insulation (R-2) cap sheet at the roof.

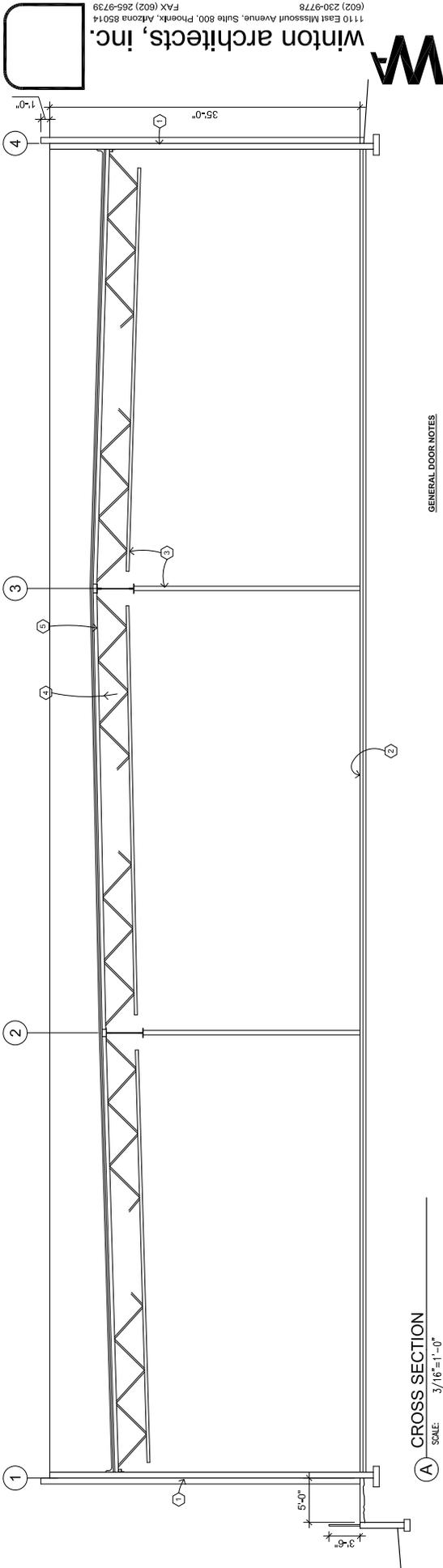


EXTERIOR PAINT COLORS
 (Please Refer)

- A: Pink River 831266 LRV = 68
- B: Court House 831267 LRV = 40
- C: Rainwood 83150 LRV = 37

EXTERIOR ELEVATION KEYNOTES

- 1) Concrete fill wall panels
- 2) 2" x 2" deep reveals
- 3) 1/2" x 1/2" deep reveals
- 4) 1/2" x 1/2" deep reveals
- 5) Spot application over paint
- 6) Line of finished grading
- 7) 3'-0" high 1 1/4" square tubular steel railing
- 8) Hollow metal door and frame. Provide 6" x 6" x 1/2" extruded aluminum aluminum frames
- 9) Hollow metal door with glass in dark bronze anodized aluminum frames
- 10) Hollow metal door with glass in dark bronze anodized aluminum frames
- 11) Hollow metal door with glass in dark bronze anodized aluminum frames
- 12) Hollow metal door with glass in dark bronze anodized aluminum frames
- 13) Hollow metal door with glass in dark bronze anodized aluminum frames
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- 47) Hollow metal door with glass in dark bronze anodized aluminum frames
- 48) Hollow metal door with glass in dark bronze anodized aluminum frames
- 49) Hollow metal door with glass in dark bronze anodized aluminum frames
- 50) Hollow metal door with glass in dark bronze anodized aluminum frames



A CROSS SECTION
SCALE: 3/16" = 1'-0"

SECTION KEYNOTES

- 1 Concrete fill up wall panels.
- 2 Concrete floor slab per Structural drawings.
- 3 Roof framing and columns per Structural drawings.
- 4 Continuous F-12 cap sheet insulation (R=12).
- 5 1" foam roofing (Class B).
- 6 CMU retaining wall per Site Plan.
- 7 Wrought iron fencing to 5'-6".
- 8 6" batt insulation (R=19).
- 9 Insulated curtain wall system per exterior elevations.
- 10 4" concrete sidewalk per Site Plan.
- 11 5/8" exterior drywall.

GENERAL DOOR NOTES

1. Paint steel doors and frames with one (1) coat rust inhibiting primer and one (1) coat semi-gloss alkylid enamel. Color by Owner.
2. All door hardware to be medium duty "Schlager" lever type. Master key per Owner's direction.
3. Provide door stops as required at floor and wall.
4. All thresholds to be a maximum height of 1/2".
5. Door lock and latches shall comply with IBC Section 1008.1.6.3 and ANSI Section 404.26.
6. Exit lighting and emergency lighting shall be provided with battery backup.
7. All exit doors shall be openable from the inside without the use of a key or any special knowledge or effort.
8. Doors shall have a minimum opening width of 32" with the door open 90 degrees.
9. Provide 6" x 6" lean vision panel at all exterior hollow metal doors. Center in door at +65° A.F.F. Include litch guard.
10. Provide 26 ga. metal drip edge at all exterior door (HM) headers.

DOOR SCHEDULE

- 1 3'-0" x 7'-0" x 1.3/4" full lite tempered glass in aluminum storefront frame. Provide weatherstripping, threshold (1/2" max. height), keylock and closer. Post sign to read "This Door To Remain Unlocked During Business Hours", with minimum 1" high letters over contrasting background.
- 2 3'-0" x 7'-0" x 1.3/4" hollow metal door (18 ga. min.) in hollow metal frame (18 ga. min.). Provide keylock, door closer, threshold and weatherstripping. Include 6" x 6" lean vision panel centered and +65° A.F.F. and litch guard.
- 3 12'-0" x 14'-0" steel sectional door with manual pull rope. Provide lock and weatherstripping. Include fixed glass panels per elevations.
- 4 Same as Door #3, except 10'-0" x 10'-0" door size.
- 5 Same as Door #4.
- 6 Same as Door #4.
- 7 Same as Door #2.
- 8 Same as Door #2.
- 9 Same as Door #2.
- 10 Same as Door #2.
- 11 Same as Door #2.

B WALL SECTION @ ENTRY
SCALE: 1/4" = 1'-0"

TEMPERATE, ARIZONA
SUN STATE BUILDERS

job no. 06122
drawn WDH
approved RBV
date 4/12/07

revisions
A CITY 9/2007
B OWNER 10/10/07
C OWNER 11/28/07

A-3

Winton architects, inc.
1110 East Missouri Avenue, Suite 800, Phoenix, Arizona 85014
(602) 230-9778
FAX (602) 265-9739





LOOKING NORTH @ MIDDLE OF SITE



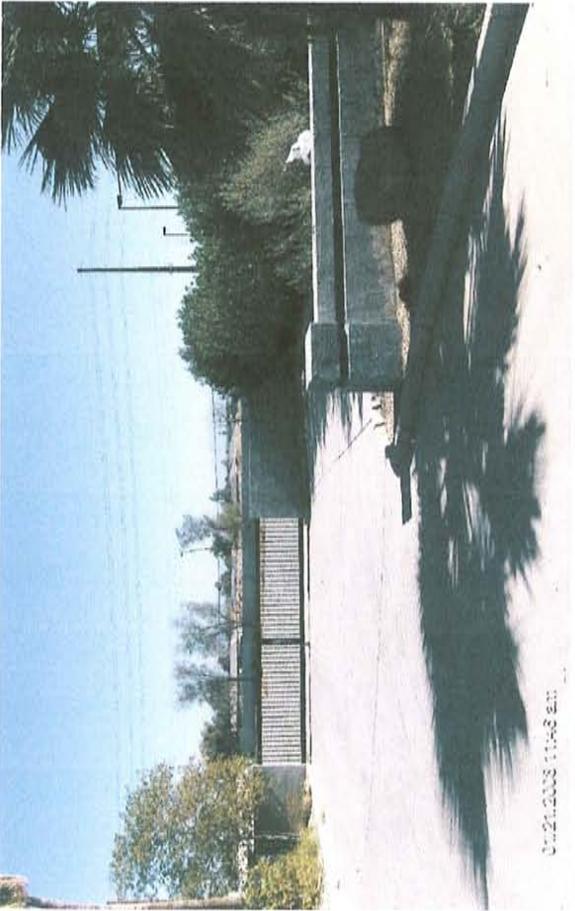
LOOKING SOUTH AT ENTRY DRIVE



LOOKING NORTH @ WEST P/L



LOOKING NORTH @ CORNER WEST ST. BLDG.



01/21/2008 11:48 AM
EAST @ ENTRY



01/21/2008 11:48 AM
NORTH @ CUL-DE-SAC



EAST @ SOUTH PL



01/21/2008 11:47 AM
LOOKING TO N/E

JAN 22 2008



LOOKING SOUTH @ CUL-DE-SAC