

# Staff Summary Report



Development Review Commission Date: 12/14/10

Agenda Item Number: \_\_\_

**SUBJECT:** Hold a public meeting for a Development Plan Review for ALL SAINTS CATHOLIC NEWMAN CENTER, located at 230 East University Drive.

**DOCUMENT NAME:** DRCr\_AllSaintsNewmanCtr\_121410 PLANNED DEVELOPMENT (0406)

**COMMENTS:** Request for **ALL SAINTS CATHOLIC NEWMAN CENTER (PL100304)** (Roman Catholic Diocese of Phoenix, property owner; Phoenix Design Group, applicant) consisting of a new chapel building with offices, social hall, classrooms and a residence, all within approximately 34,300 s.f. of building area, while maintaining the existing church (Old St. Mary's Church) on approx. 0.72 acres, located at 230 East University Drive in the CC, City Center District, Transportation Overlay District, Historic Designated Property, and within a Planned Area Development Overlay. The request includes the following:

**DPR10173** – Development Plan Review including site plan, building elevations, and landscape plan.

**PREPARED BY:** Ryan Levesque, Senior Planner (480-858-2393)

**REVIEWED BY:** Lisa Collins, Community Development Deputy Director (480-350-8989)

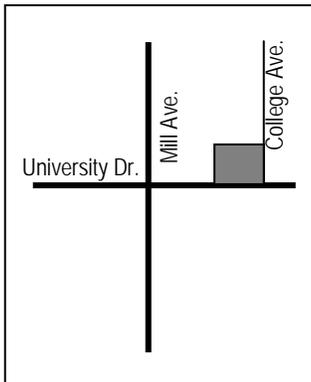
**LEGAL REVIEW BY:** N/A

**DEPARTMENT REVIEW BY:** N/A

**FISCAL NOTE:** N/A

**RECOMMENDATION:** **Staff – Approval, subject to conditions**  
**Historic Preservation Commission – Approval with conditions**

**ADDITIONAL INFO:**



Gross / Net site area	0.86 / 0.84 acres
New Building area	34,267 sf. (3,485 sf. existing church to remain)
Lot Coverage	73% (NS)
Building Height	45'-3" (270 ft. per PAD)
Building Setbacks	0' setbacks all sides (0 required)
Landscape area	20% (NS)
Vehicle Parking	70 spaces + ASU Foundation (268 min. required per TOD)
Bicycle Parking	22 spaces (22 min. required)
Density	0.89 du/ac (1 dwelling; Max. 209 du/ac per PAD)

- PAGES:**
1. List of Attachments
  - 2-4. Comments / Reason for Approval
  - 4-6. Conditions of Approval
  - 7-9. Code Requirements / History & Facts / Zoning & Development Code Reference

- ATTACHMENTS:**
1. Location Map
  2. Aerial Photo
  3. Letter of Explanation
  4. Site plan (1<sup>st</sup> level floor plan)
  5. 2<sup>nd</sup> level Floor Plan
  6. 3<sup>rd</sup> level Floor Plan
  - 7-8. Building Elevations
  - 9-10. Color Elevations
  - 11-12. Color Elevations with Old St. Mary's church
  13. Building Sections and fence details
  14. Preliminary Grading & Drainage Plan
  15. Landscape Plan
  - 16-21. Site Photographs
  22. Historic Preservation Commission Approval Letter

## COMMENTS:

This site is located at the northwest corner of University Drive and College Avenue, within Downtown Tempe, and adjacent to the Arizona State University campus. College Avenue is the main connection to Tempe's Transportation Center for all bus routes, including the Light Rail station at 5<sup>th</sup> Street and College Avenue. To the north of the site includes some inline commercial stores and a parking lot. To the west and east are additional restaurant sites servicing the downtown and University campus. The applicant is requesting approval of a Development Plan Review consisting of demolishing the old worship, social hall and office building to the west, while preserving the historic Old St. Mary's church, for a new 34,300 sf. worship hall with offices, class rooms, social hall and a rectory, located in the CC, City Center District and within the Transportation Overlay District (corridor).

The Old St. Mary's church, located on the corner of this site, is significant as a prominent landmark in Tempe and as a representative example of Territorial Victorian Romanesque Revival architecture. The church retains a high degree of integrity from the time of its construction in 1902-1903. The property is listed on the Tempe Historic Property Register (January 20, 2000) and on the National Register of Historic Places (January 30, 1978). This application has been reviewed by the Tempe Historic Preservation Commission on October 14, 2010. With respect to the historic integrity of the St. Mary's Church historic parcel, the Historic Preservation Commission recommended approval of the proposal with the stipulations identified in the attachments.

The new building faces both the University Drive street front as well as College Avenue. The proposed sanctuary, social hall, and offices is accessible through a grass courtyard from either sides of the existing Old St. Mary's Church. The only modification proposed to the historic church is the addition of an ADA compliant ramp on the western side facing the courtyard. The project has also received approval of a shared parking model that provides the required parking at off-site locations, including a dedicated lease agreement with a commercial parking lot across the alley (70 spaces) and off-site agreements for use of the ASU Foundation Center parking structure during non-event weekends.

On March 20, 2008, this site received approval of a Planned Area Development Overlay, for the future development of a new worship, social hall, offices and student housing, all within a new 22-story multi-use building. The approval included modified standards for a maximum building height of 270'-0" (244'-0" proposed) and reduced parking standards for 147 off-site spaces for all uses on site. Due to current funding constraints at this time the project will only move forward with the new worship hall, chapel, offices and classrooms, including a rectory for the priest. A future phase of student housing is still in consideration for this property, but would require redevelopment of this new proposal.

## PUBLIC INPUT

A neighborhood meeting is not required for this development. The previous project entitlements conducted a neighborhood meeting back in September of 2007, which addressed topics concerning parking for the student housing element. A meeting was held for this project by the Historic Preservation Commission. At this time staff has received no additional public input on this item.

## DEVELOPMENT PLAN REVIEW

The new building design for the All Saints Catholic Newman Center is a multi level building configured in an L-shape layout. The third level component of the building faces the College Avenue frontage, containing the rectory, a three bedroom residence for the church priests. At the northwest corner of the property contains the main worship hall. To the south, fronting University Drive is the social hall and smaller chapel component. The classrooms and church offices are located on the north side adjacent to the alley.

The building design utilizes components of similar elements found within the existing Old St. Mary's Church, while attempting to avoid obscuring the historic structure with modern materials. The elements are introduced with a southwestern design, with sand finish EFIS as the main material, a wainscot base, and portions of founders block veneer at defining elements, including pilasters and wall caps. The front building façade along University Drive centers on the existing public art sanctioned bus shelter, a faux palm tree design. Most of the defining building elements include arched building walls and windows, or windows within an arched colonnade form, with a standing seam metal roof.

## Landscape Plan

The majority of new landscape is included in the courtyard area, primarily designated for turf. This area will serve as a multi-use area for events conducted outside. Other components of new landscape are introduced around the southern entrance. The existing street trees on either sides of street will remain in place. The western most palm tree along University will be removed with the other existing palm trees slightly relocated which flank either sides of the bus shelter. Staff, in concert with the design team, has agreed in concept to a landscape planter bed directly behind the bus seating bench. This design consideration will address the Police comments regarding the issue of hiding objects behind the bench including citizens sleeping behind the structure. This design element will also require an Arts Commission review with the appropriate staff before final. In concept, preliminary acceptance has been received. The remaining frontage will also included a raised planter seat wall along the building, providing physical separation, while introducing opportunities for functionality at the street where a primary entrance is not present.

According to Section 6-306 D. Approval Criteria for Development Plan Review, the following is evaluated for design acceptance:

1. Placement, form, and articulation of buildings and structures provide variety in the streetscape; *The proposed building emulates multiple variations in building form and articulation to the street fronts, as well as along the western property line and the alley.*
2. Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort; *The project introduces varied surface materials for the open portions of site. One primary element includes turf, which provides a cooling element within the open space. Additionally, a covered walkway shades the majority of the path at the main sanctuary entrance. Varied building setbacks in the façade, along with existing structures, also provide additional shade from southwestern sun exposure.*
3. Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings; *The materials as presented do provide a superior quality within context to the existing site conditions. Furthermore, the material and design elements tie in to other recent developments, such as the ASU Foundation Center' brick pilasters located across the intersection.*
4. Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings; *All elements are appropriately scaled and provide a human-scaled element with the landscape planter seat wall.*
5. Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; *The overall structure is well articulated by eliminating the appearance of a large structure. The pedestrian experience is enhanced with interaction of landscape planters interacting with the existing streetscape elements.*
6. Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; *The building façade provides an overall interest without detracting from the primary feature of the site, the Old St. Mary's Church located at the corner.*
7. Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; *The site is located near the hub of the City's Transportation Center, including convenient access to valley wide bus services, local transit routes and the Valley Metro Light Rail station at 5<sup>th</sup> Street and College Avenue. Although no vehicle parking is provided on-site, there will be adjacent dedicated parking for the church with the lease agreement on the pay commercial lot across the alley, as well as use of the Foundation Centers parking garage.*
8. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; *As a result of no on-site parking, vehicular conflicts with pedestrians have been minimized.*
9. Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance; *CPTED concepts have been addressed in this design project. The courtyard will be secured with wrought iron fencing at either entrance.*

10. Landscape accents and provides delineation from parking, buildings, driveways and pathways; *Landscape accents have been achieved in this project design.*
11. *Signs* have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the *building* or site on which they are located; *Not applicable to this request.*
12. Lighting is compatible with the proposed *building(s)* and adjoining *buildings* and uses, and does not create negative effects. *Lighting will appear to be compatible with the building designs, in compliant with Tempe's lighting standards.*

### **Conclusion**

Based on the information provided by the applicant, the public input received and the above analysis staff recommends approval of the requested Development Plan Review. This request meets the required criteria and will conform to the conditions 1-12.

### **REASONS FOR APPROVAL:**

1. The project meets the General Plan Projected Land Use and Projected Residential Density for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The proposed project meets the approval criteria for a Development Plan Review.

### **CONDITIONS OF APPROVAL:**

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. An application for an Amended Planned Area Development Overlay for this project shall be submitted to the Community Development Department and put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe prior to issuance of building permits.
2. An Amended Subdivision Plat is required for this development and shall be recorded prior to issuance of building permits. The subdivision plat shall dedicated right-of-way along the University Drive frontage half street from 50'-0" to 55'-0", including easements for the existing bus shelter.
3. A non-commercial Encroachment Permit for the raised landscape planters must be obtained from the Engineering Division at the time of submittal for construction documents for building permit. The limitations of this encroachment may include;
  - a. A maintenance and use agreement for the upkeep of the landscape planter bed structures, and
  - b. Any other requirements described by the encroachment permit.
4. The historic conservation easement shall be recorded with the proposed improvements for the Old St. Mary's portion of the site, prior to receiving building permits, and as originally outlined in the Planned Area Development Overlay conditions of approval. (PL070404/PAD07027)

### **Site Plan**

5. Provide and maintain 8'-0" wide clear public sidewalk along University Drive.
6. The public alley adjacent to this property shall be resurfaced, extending to the nearest adjacent street, subject to Public Works, Engineering Division review.
7. Remove all existing curb cut driveways and replace to match existing street details.
8. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.

9. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage).

### **Floor Plans**

10. Exit Security:
  - a. Provide visual surveillance by means of fire-rated glazing assemblies from stair towers into adjacent circulation spaces.
  - b. In instances where an elevator or stair exit is within 21'-0" of an alcove, corner or other potential hiding place, position a refracting mirror to allow someone in the exit doorway to observe in the mirror the area around the corner or within the alcove that is adjacent to the doorway.
11. Public Restroom Security:
  - a. Lights in restrooms:
    - 1) Provide 50% night lights
    - 2) Activate by automatic sensors, key or remote control mechanism
  - b. Single user restroom door hardware:
    - 3) Provide a key bypass on the exterior side

### **Building Elevations**

12. The materials and colors are approved as presented:  
Sand Finish EFIS – Benjamin Moore – “Shelburne Buff”  
Pilasters and Wall Caps – Founders Block – Color: “Canyon”  
Standing Seam Metal Roof, zee-lock – Color: “Copper Brown”  
Wall base – Wainscot material – Natural Sand Stone, Ashlar Pattern  
Aluminum Windows – Kawneer – Color: “Medium Bronze”  
Iron Gates – To match color of windows  
Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. You may submit any additions or modifications for review during building plan check process.
13. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
14. Conceal roof drainage system within the interior of the building.
15. The western property wall may be increased to a height of 10'-0" in order to obtain compliance with Building Code. Variation in the wall height may occur near the portion adjacent to the public alley only, with a minimum height of 8'-0".
16. All the rolling gate and fence along the service yard shall be a minimum height of 8'-0", with all other gates and fencing at a minimum height of 6'-0".
17. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
18. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
19. Avoid upper/lower divided glazing panels in exterior windows at grade level, particularly where lower (reachable) glass panes of a divided pane glass curtain-wall system can be reached and broken for unauthorized entry. Do not propose landscaping or screen walls that conceal area around lower windows. If this mullion pattern is desired for aesthetic concerns, laminated glazing may be considered at these locations.

### **Landscape**

20. The plant palate is approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.

21. A raised planter bed or an alternate material design shall be provided adjacent and behind the existing bus shelter, at or above the seating height, with independent wall support for the landscape. Review of the project design adjacent to the public art bus shelter, including modifications to palm trees or art bike rack, requires review by the Arts Commission, as determined by the staff coordinator.
22. Two of the existing three palm trees on either sides of the art bus shelter shall remain as shown on the landscape plan. The placement of the trees may be modified without substantial modification to the original locations while preserving the existing trees. Any damage to the existing trees during construction shall require the project to replace the existing trees with a similar sized tree in height and form.
23. Irrigation notes:
  - a. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½" (if any). Provide details of water distribution system.
  - b. Locate valve controller in a vandal resistant housing.
  - c. Hardwire power source to controller (a receptacle connection is not allowed).
  - d. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
  - e. Repair existing irrigation system (on site or in the adjacent public right of ways) where damaged by work of this project. Provide temporary irrigation to existing landscape for the period of time that irrigation system is out of repair. Design irrigation so existing plants are irrigated as part of the reconfigured system at the conclusion of this construction.
24. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
25. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness or less. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

### Signage

26. Provide address sign(s) on the building elevation facing the street to which the property is identified on University only.
  - a. Conform to the following for building address signs:
    - 1) Provide street number only, not the street name
    - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
    - 3) Shall be Self-illuminated.
    - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
    - 5) Do not affix number or letter to elevation that might be mistaken for the address.
  - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.
  - c. Provide at least one set of minimum 3" high address numerals along the alley above either exit points. Provide contrasting color with no lighting required for the address.

## CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through [www.tempe.gov/zoning](http://www.tempe.gov/zoning) or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
  - Access standard engineering details at this link: [www.tempe.gov/engineering/standard\\_details.htm](http://www.tempe.gov/engineering/standard_details.htm) or purchase book from the Public Works Engineering Division.
  - Access standard refuse enclosures at this link: [www.tempe.gov/bsafety/Applications\\_Forms/applications\\_and\\_forms.htm](http://www.tempe.gov/bsafety/Applications_Forms/applications_and_forms.htm) . The enclosure details are under Civil Engineering & Right of Way.
- **BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line. College Avenue is the defined frontage for this project, per the Zoning and Development Code.
- **COMMUNICATIONS:**
  - For tall buildings, design top of building elements to allow cellular communications providers to incorporate antenna within the building architecture so future installations may be concealed with little or no building elevation modification. Additional processing may be required.
- **PUBLIC ART:** Review required by the Arts Commission or staff for improvements adjacent to the existing public art bus shelter, including relocation of the art bike rack. Contact the Community Services Cultural Services Division regarding processing of this requirement prior to receiving building permits.
- **HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- **SIDEWALKS:** Incorporate brick sidewalks for all off-site pedestrian paving. Follow City of Tempe Public Works Department Detail T-353, when designing all sidewalk areas in the Right-of-Way. Alternative paver materials may be considered subject to review, and approval, by the Engineering and Planning Departments. Any alternative patterns should be used in small amounts to create accent areas at entrances, or to demarcate architectural features of the building. Do not propose a wholesale change of material. These materials shall be compatible with the Americans with Disabilities Act, ADA, and the Building Code.
- **ENGINEERING:**
  - Underground adjacent overhead utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
  - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
  - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
  - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
  - The site is within an Alternative Retention Criteria Area. Verify specific design considerations with the Engineering Department.

- REFUSE:
  - Enclosure indicated on site plan is exclusively for refuse. Construct concrete pad and bollards only, in conformance with standard detail DS-116.
  - Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate.
  - Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
  - Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.
  
- DRIVEWAYS:
  - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult "Corner Sight Distance" leaflet, available from Traffic Engineering if needed. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
  
- PARKING SPACES:
  - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
  - At parking areas, provide demarcated accessible aisle for disabled parking.
  - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
  
- LIGHTING:
  - Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
  - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.
  
- SIGNS: Separate Development Plan Review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Obtain sign permit for identification signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process.

**HISTORY & FACTS:**

February 2, 1960	The Board of Adjustment approved a parking variance for the Newman Center from 36 spaces to 26 spaces.
June 21, 1989	Design Review Board approved a new courtyard site plan and landscape plan for the Newman Center, subject to conditions.
January 20, 2000	The City Council approved the designation of the Old St. Mary's Church as a historic property.
February 7, 2006	The Redevelopment Review Commission approved ALL SAINTS CATHOLIC NEWMAN CENTER (RRC06001) for Development Plan approval of a new two-story social hall, day chapel, and sanctuary (34,936.83 s.f.) including building elevations, site plan and landscape plan and a Use Permit Development Standard to increase the maximum allowable height for a structure by 20%, from 50 feet to 60 feet, located at 230 East University Drive., located at 230 East University Drive.
February 10, 2006	Development Services Department approved the request for a shared parking model to allow 27 parking

spaces on-site with off-site parking for the All Saints Catholic Newman Center, for the addition of a new sanctuary and chapel, located at 230 East University Drive.

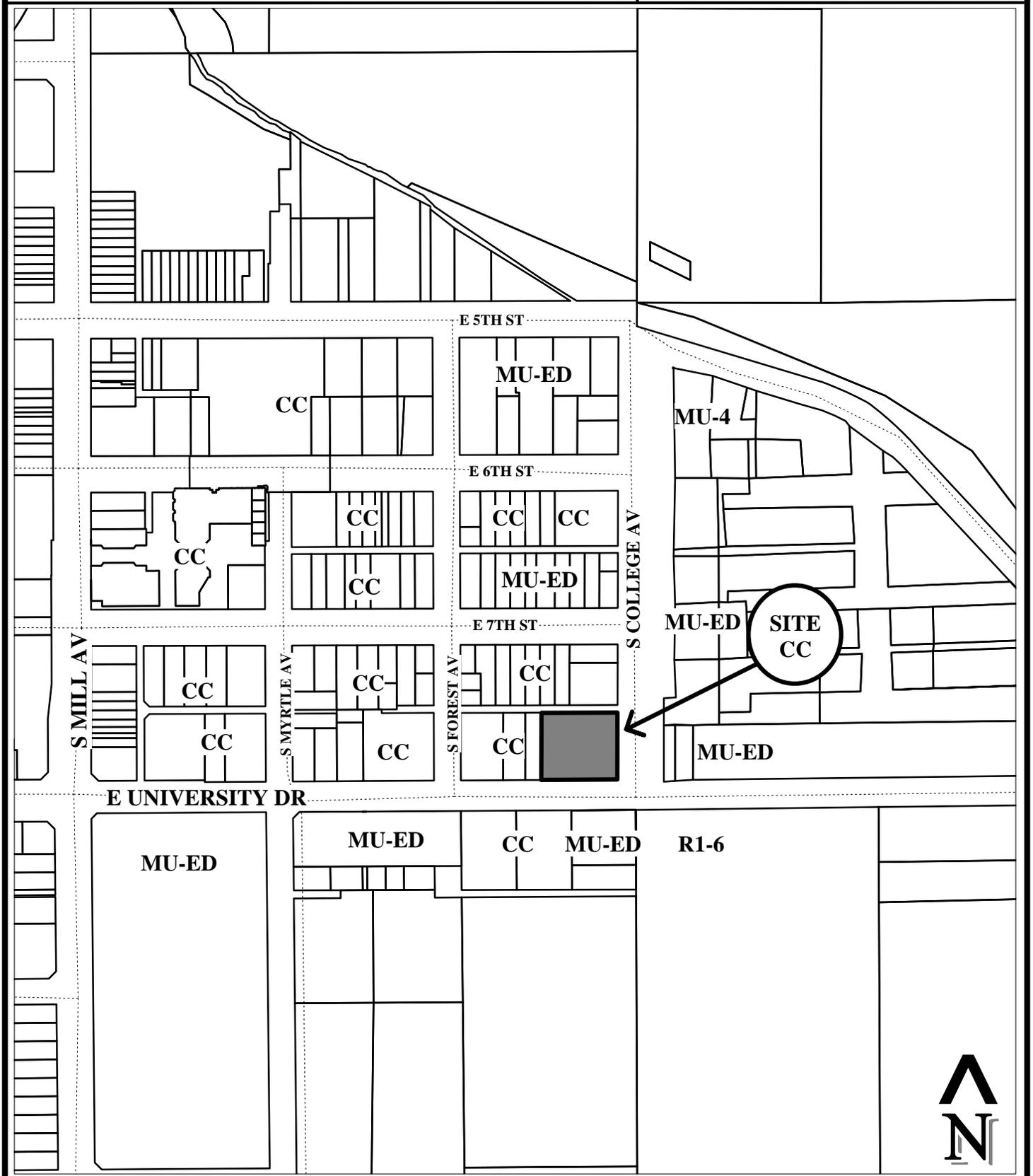
- September 16, 2007 The applicant held a neighborhood meeting on Sunday at 1 pm at the All Saints Newman Center facility for the Student Housing development proposal.
- October 11, 2007 The Historic Preservation Commission recommended approval of the Planned Area Development Overlay request for ALL SAINTS NEWMAN CENTER STUDENT HOUSING related to preservation review of the historic Old St. Mary's Church.
- February 12, 2008 Development Review Commission recommended approval for ALL SAINTS NEWMAN CENTER STUDENT HOUSING (PL070404) with a modified condition that would allow a 270' building. (4-2 vote)
- March 20, 2008 City Council approved the request for a Planned Area Development Overlay for ALL SAINTS NEWMAN CENTER STUDENT HOUSING (PL070404) for a mixed-use development consisting of a twenty-two (22) story building for student housing, worship hall and chapel within approximately 260,000 sq. ft. of building area located at 230 East University Drive to January 22, 2008.
- October 14, 2010 Historic Preservation Commission approved this request for the All Saints Newman Center building in context with preserving the historic building on site. This item was conditionally approved by the Commission.

**ZONING AND DEVELOPMENT CODE REFERENCE:**

Section 6-306, Development Plan Review

ALL SAINTS CATHOLIC NEWMAN CENTER

PL100304





ALL SAINTS CATHOLIC NEWMAN CENTER (PL100304)



10/28/2010

City of Tempe  
Development Services  
31 East Fifth Street  
Tempe, AZ 85280

Re: Letter of explanation for the All Saints Catholic Newman Center  
230 East University Drive, Tempe, AZ

The proposed All Saints Catholic Newman Center complex is a singular structure with multiple uses. The building protects open visibility of the historic church and pulls material and geometric shapes from the existing façade. To protect at all costs and blend into the historic church is the underling objective.

The far side architecture coupled with long lasting materials, variable vertical heights and elements allow for good street presents and the compatibility with the historic church and surrounding buildings.

Pedestrian circulation shall be entering the facility from the northern and eastern parking facilities through building/site entrances on the north, east and south. Existing street lighting on College and University will be coupled with well designed building and circulation lighting via building attached and free standing light sources. Great care has been given to maximize natural surveillance and safe pedestrian circulation. The proposed building enhances the existing public transportation on University by providing additional sitting areas while waiting on transport.

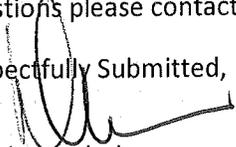
The building design uses natural stone and or rustic masonry units as a wainscot for a grounding element. Vertical architecture masonry pilasters allow for wall segmentation, framing fenestrations and support units for wall and roof structures. Multiple building heights and angular wall orientation supports a center shaded courtyard, opens site lines to the historic church and a more human scale as viewed from both the street side and internal court yard.

Landscape shall be used to help natural surveillance, protect both the new construction and historic church, and create a comfortable transition from public ways to and through the site. The court yard maintains one large turf area in the spirit of the existing complex and the promotion of exterior human interaction.

The existing ground mounted monument sign off of University adjacent to the southern entrance shall be maintained as a remembrance and gateway to the new.

Thank you in advance for your consideration of our proposed multipurpose facility. If you have any questions please contact me at 480-451-9773.

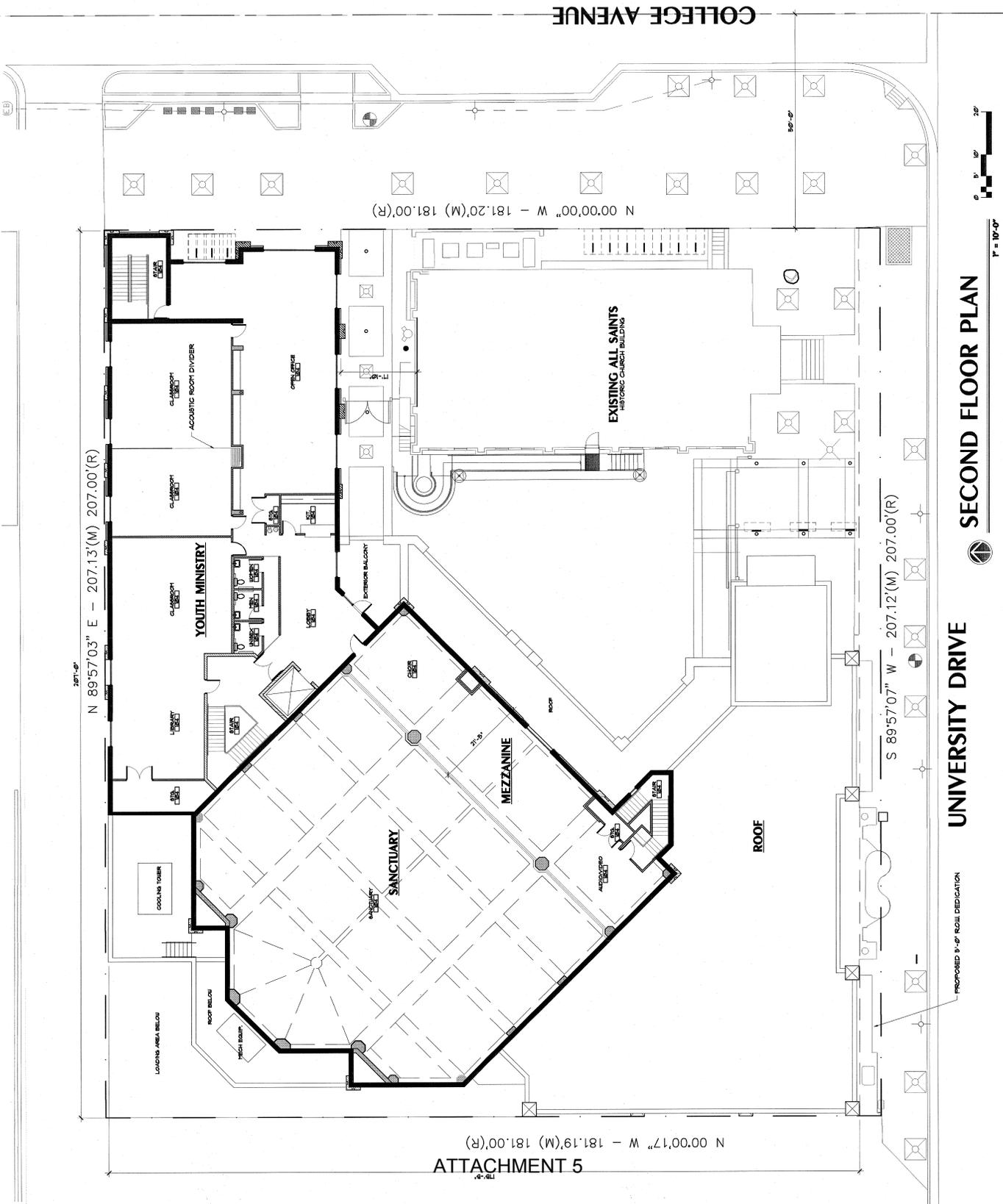
Respectfully Submitted,

  
David Arambula, manager  
Phoenix Design Group LLC.



**PROJECT INFORMATION**

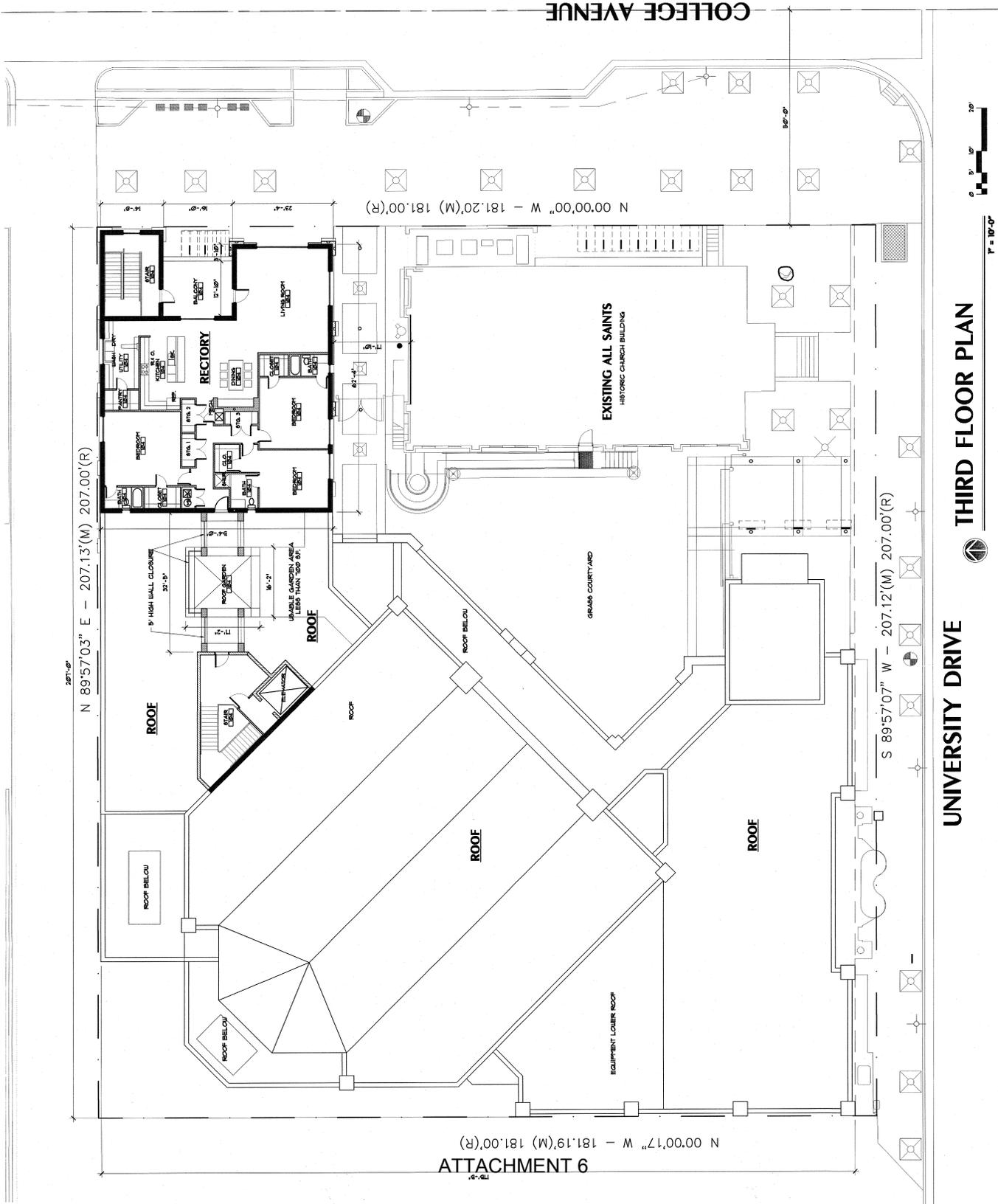
ADDRESS: 230 EAST UNIVERSITY DRIVE  
 PROPERTY APN: 18-27-071, 18-27-144  
 ZONING: CC (PUD/TOD)  
 NEIGHBORHOOD: 18-27-071, 18-27-144  
 GENERAL PLAN PROJECTED LAND USE: HIGH-DENSITY/RESIDENTIAL  
 PROPOSED NEIGHBORHOOD: HIGH-DENSITY/RESIDENTIAL  
 TOTAL DUELLING UNITS: 244  
 BUILDING HEIGHT ALLOWED: 45 FEET 3 INCHES  
 BUILDING AREAS: 21775 SF  
 84705 SF  
 15249 SF  
 195 SF  
 2109 SF  
 69605 SF  
 3148 SF  
 275 SF  
 3426 SF  
 1807 SF  
 1084 SF  
 441 SF  
 3224 SF  
 105 SF  
 3202 SF  
 3489 SF  
 NO STANDARD  
 LOT COVERAGE ALLOWED  
 LOT COVERAGE PROVIDED: 0.175-0.184-0.193-0.204-0.214-0.224-0.234-0.244-0.254-0.264-0.274-0.284-0.294-0.304-0.314-0.324-0.334-0.344-0.354-0.364-0.374-0.384-0.394-0.404-0.414-0.424-0.434-0.444-0.454-0.464-0.474-0.484-0.494-0.504-0.514-0.524-0.534-0.544-0.554-0.564-0.574-0.584-0.594-0.604-0.614-0.624-0.634-0.644-0.654-0.664-0.674-0.684-0.694-0.704-0.714-0.724-0.734-0.744-0.754-0.764-0.774-0.784-0.794-0.804-0.814-0.824-0.834-0.844-0.854-0.864-0.874-0.884-0.894-0.904-0.914-0.924-0.934-0.944-0.954-0.964-0.974-0.984-0.994-1.004-1.014-1.024-1.034-1.044-1.054-1.064-1.074-1.084-1.094-1.104-1.114-1.124-1.134-1.144-1.154-1.164-1.174-1.184-1.194-1.204-1.214-1.224-1.234-1.244-1.254-1.264-1.274-1.284-1.294-1.304-1.314-1.324-1.334-1.344-1.354-1.364-1.374-1.384-1.394-1.404-1.414-1.424-1.434-1.444-1.454-1.464-1.474-1.484-1.494-1.504-1.514-1.524-1.534-1.544-1.554-1.564-1.574-1.584-1.594-1.604-1.614-1.624-1.634-1.644-1.654-1.664-1.674-1.684-1.694-1.704-1.714-1.724-1.734-1.744-1.754-1.764-1.774-1.784-1.794-1.804-1.814-1.824-1.834-1.844-1.854-1.864-1.874-1.884-1.894-1.904-1.914-1.924-1.934-1.944-1.954-1.964-1.974-1.984-1.994-2.004-2.014-2.024-2.034-2.044-2.054-2.064-2.074-2.084-2.094-2.104-2.114-2.124-2.134-2.144-2.154-2.164-2.174-2.184-2.194-2.204-2.214-2.224-2.234-2.244-2.254-2.264-2.274-2.284-2.294-2.304-2.314-2.324-2.334-2.344-2.354-2.364-2.374-2.384-2.394-2.404-2.414-2.424-2.434-2.444-2.454-2.464-2.474-2.484-2.494-2.504-2.514-2.524-2.534-2.544-2.554-2.564-2.574-2.584-2.594-2.604-2.614-2.624-2.634-2.644-2.654-2.664-2.674-2.684-2.694-2.704-2.714-2.724-2.734-2.744-2.754-2.764-2.774-2.784-2.794-2.804-2.814-2.824-2.834-2.844-2.854-2.864-2.874-2.884-2.894-2.904-2.914-2.924-2.934-2.944-2.954-2.964-2.974-2.984-2.994-3.004-3.014-3.024-3.034-3.044-3.054-3.064-3.074-3.084-3.094-3.104-3.114-3.124-3.134-3.144-3.154-3.164-3.174-3.184-3.194-3.204-3.214-3.224-3.234-3.244-3.254-3.264-3.274-3.284-3.294-3.304-3.314-3.324-3.334-3.344-3.354-3.364-3.374-3.384-3.394-3.404-3.414-3.424-3.434-3.444-3.454-3.464-3.474-3.484-3.494-3.504-3.514-3.524-3.534-3.544-3.554-3.564-3.574-3.584-3.594-3.604-3.614-3.624-3.634-3.644-3.654-3.664-3.674-3.684-3.694-3.704-3.714-3.724-3.734-3.744-3.754-3.764-3.774-3.784-3.794-3.804-3.814-3.824-3.834-3.844-3.854-3.864-3.874-3.884-3.894-3.904-3.914-3.924-3.934-3.944-3.954-3.964-3.974-3.984-3.994-4.004-4.014-4.024-4.034-4.044-4.054-4.064-4.074-4.084-4.094-4.104-4.114-4.124-4.134-4.144-4.154-4.164-4.174-4.184-4.194-4.204-4.214-4.224-4.234-4.244-4.254-4.264-4.274-4.284-4.294-4.304-4.314-4.324-4.334-4.344-4.354-4.364-4.374-4.384-4.394-4.404-4.414-4.424-4.434-4.444-4.454-4.464-4.474-4.484-4.494-4.504-4.514-4.524-4.534-4.544-4.554-4.564-4.574-4.584-4.594-4.604-4.614-4.624-4.634-4.644-4.654-4.664-4.674-4.684-4.694-4.704-4.714-4.724-4.734-4.744-4.754-4.764-4.774-4.784-4.794-4.804-4.814-4.824-4.834-4.844-4.854-4.864-4.874-4.884-4.894-4.904-4.914-4.924-4.934-4.944-4.954-4.964-4.974-4.984-4.994-5.004-5.014-5.024-5.034-5.044-5.054-5.064-5.074-5.084-5.094-5.104-5.114-5.124-5.134-5.144-5.154-5.164-5.174-5.184-5.194-5.204-5.214-5.224-5.234-5.244-5.254-5.264-5.274-5.284-5.294-5.304-5.314-5.324-5.334-5.344-5.354-5.364-5.374-5.384-5.394-5.404-5.414-5.424-5.434-5.444-5.454-5.464-5.474-5.484-5.494-5.504-5.514-5.524-5.534-5.544-5.554-5.564-5.574-5.584-5.594-5.604-5.614-5.624-5.634-5.644-5.654-5.664-5.674-5.684-5.694-5.704-5.714-5.724-5.734-5.744-5.754-5.764-5.774-5.784-5.794-5.804-5.814-5.824-5.834-5.844-5.854-5.864-5.874-5.884-5.894-5.904-5.914-5.924-5.934-5.944-5.954-5.964-5.974-5.984-5.994-6.004-6.014-6.024-6.034-6.044-6.054-6.064-6.074-6.084-6.094-6.104-6.114-6.124-6.134-6.144-6.154-6.164-6.174-6.184-6.194-6.204-6.214-6.224-6.234-6.244-6.254-6.264-6.274-6.284-6.294-6.304-6.314-6.324-6.334-6.344-6.354-6.364-6.374-6.384-6.394-6.404-6.414-6.424-6.434-6.444-6.454-6.464-6.474-6.484-6.494-6.504-6.514-6.524-6.534-6.544-6.554-6.564-6.574-6.584-6.594-6.604-6.614-6.624-6.634-6.644-6.654-6.664-6.674-6.684-6.694-6.704-6.714-6.724-6.734-6.744-6.754-6.764-6.774-6.784-6.794-6.804-6.814-6.824-6.834-6.844-6.854-6.864-6.874-6.884-6.894-6.904-6.914-6.924-6.934-6.944-6.954-6.964-6.974-6.984-6.994-7.004-7.014-7.024-7.034-7.044-7.054-7.064-7.074-7.084-7.094-7.104-7.114-7.124-7.134-7.144-7.154-7.164-7.174-7.184-7.194-7.204-7.214-7.224-7.234-7.244-7.254-7.264-7.274-7.284-7.294-7.304-7.314-7.324-7.334-7.344-7.354-7.364-7.374-7.384-7.394-7.404-7.414-7.424-7.434-7.444-7.454-7.464-7.474-7.484-7.494-7.504-7.514-7.524-7.534-7.544-7.554-7.564-7.574-7.584-7.594-7.604-7.614-7.624-7.634-7.644-7.654-7.664-7.674-7.684-7.694-7.704-7.714-7.724-7.734-7.744-7.754-7.764-7.774-7.784-7.794-7.804-7.814-7.824-7.834-7.844-7.854-7.864-7.874-7.884-7.894-7.904-7.914-7.924-7.934-7.944-7.954-7.964-7.974-7.984-7.994-8.004-8.014-8.024-8.034-8.044-8.054-8.064-8.074-8.084-8.094-8.104-8.114-8.124-8.134-8.144-8.154-8.164-8.174-8.184-8.194-8.204-8.214-8.224-8.234-8.244-8.254-8.264-8.274-8.284-8.294-8.304-8.314-8.324-8.334-8.344-8.354-8.364-8.374-8.384-8.394-8.404-8.414-8.424-8.434-8.444-8.454-8.464-8.474-8.484-8.494-8.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1" = 10'-0"

SECOND FLOOR PLAN

UNIVERSITY DRIVE



**THIRD FLOOR PLAN**

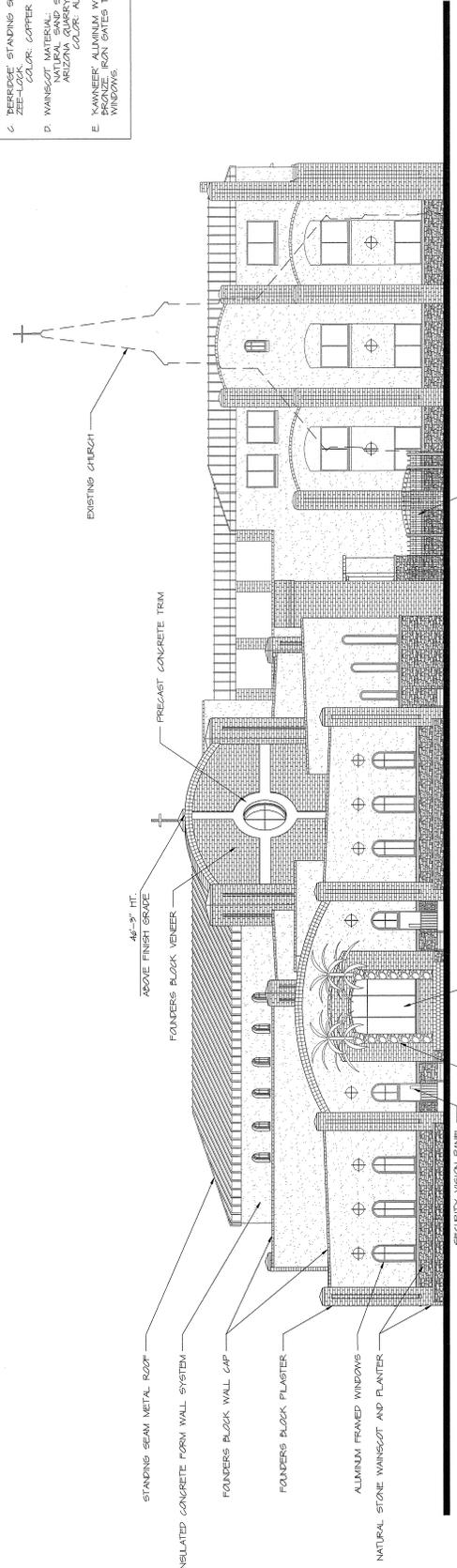


1" = 10'-0"

**UNIVERSITY DRIVE**



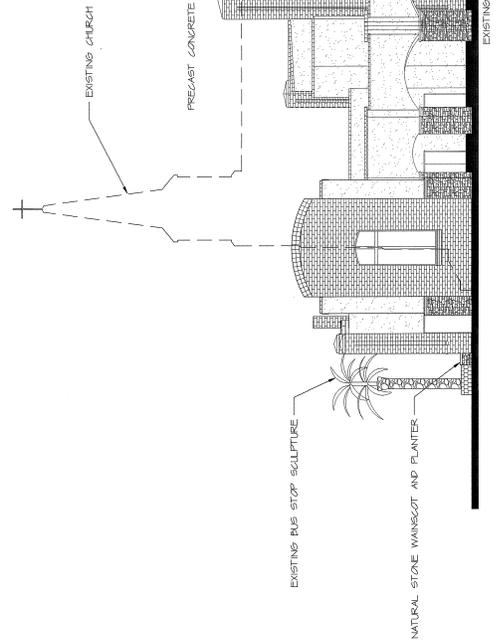
FINISH MATERIAL LEGEND	
A.	SAND FINISH EIFS PERIMETER MOURE COLOR - SHELBYNE BUFF
B.	SUPERLITE FOUNDRERS BLOCK FOR PLASTERS AND WALL CAPS COLOR: CANTON
C.	BERBERE STANDING SEAM METAL ROOF. COLOR: COPPER BROWN
D.	WANSKOT MATERIAL: NATURAL SAND STONE FROM ASHTON, ARIZONA COLOR: NATURAL
E.	KAWNEER ALUMINUM WINDOWS, COLOR: MEDIUM BRONZE IRON GATES TO MATCH COLOR OF WINDOWS



**SOUTH ELEVATION**



1" = 10'-0"



**EAST ELEVATION**

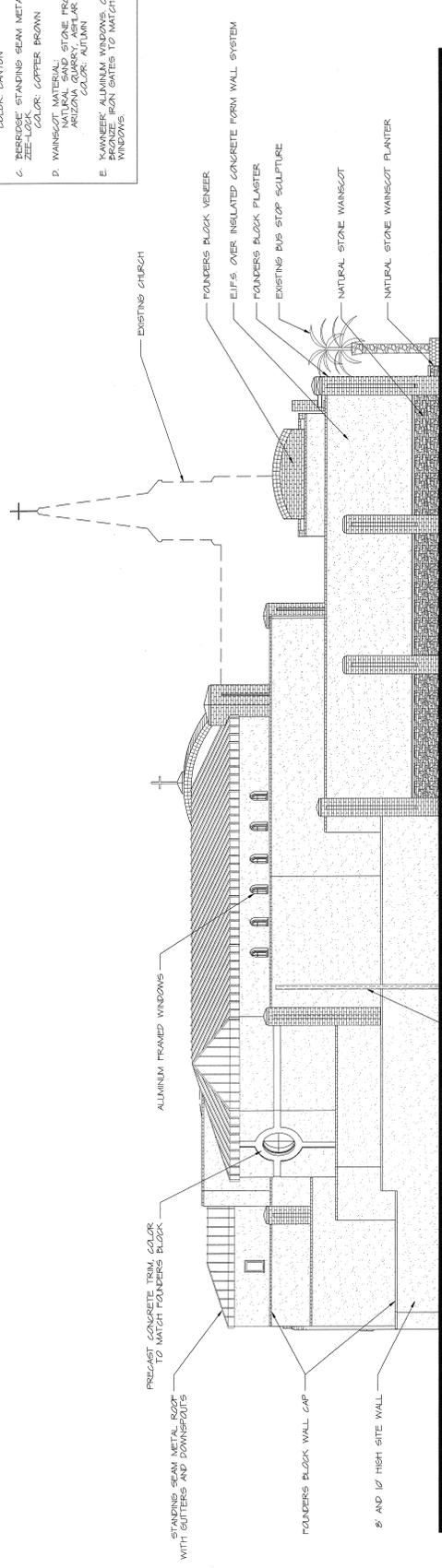


1" = 10'-0"



**FINISH MATERIAL LEGEND**

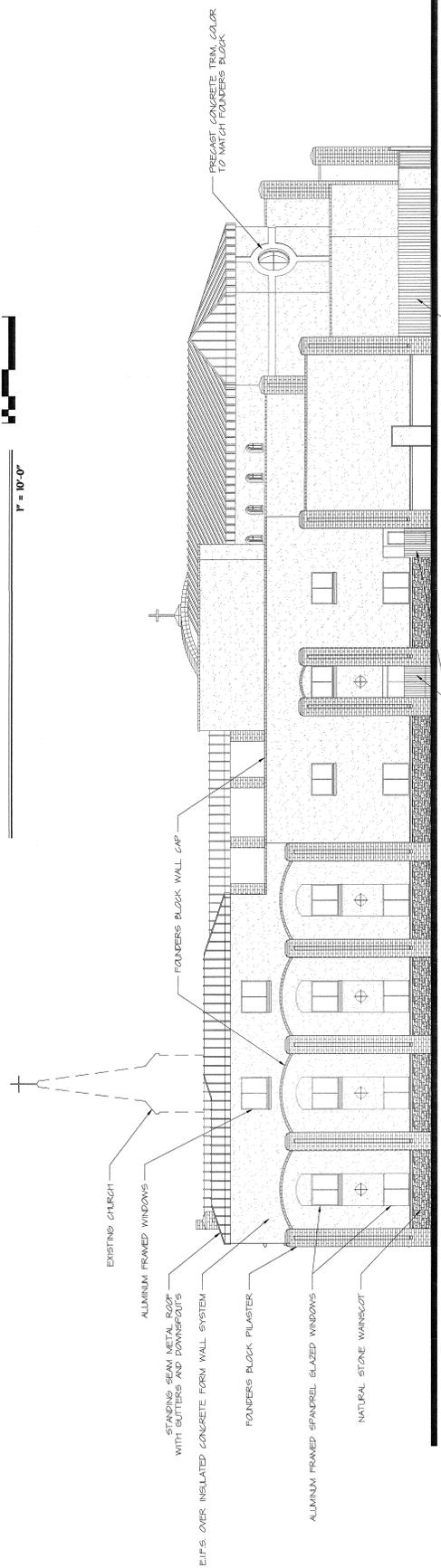
- SAND FINISH EIFS, BERWAIN MOORE  
COLOR: SIELERNE BUFF
- SUPERLITE FOUNDERS BLOCK FOR PLASTERS  
AND WALL CAPS  
COLOR: CANYON
- BERRIDGE STANDING SEAM METAL ROOF,  
ZEE-L-COLOR: COPPER BROWN
- WAINSCOT MATERIAL:  
NATURAL SAND STONE FROM ASHTON,  
ARIZONA QUARRY; ASYLAR PATTERN,  
COLOR: AUSTIN
- FOUNDERS ALUMINUM WINDOWS, COLOR: MEDIUM  
WINDOWS



**WEST ELEVATION**



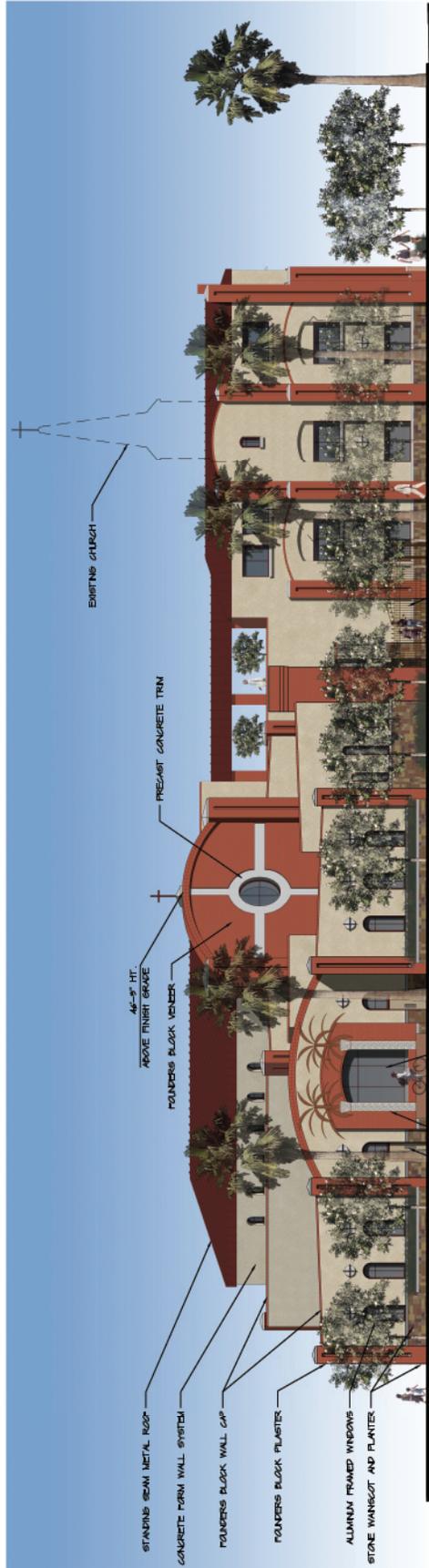
1" = 10'-0"



**NORTH ELEVATION**



1" = 10'-0"

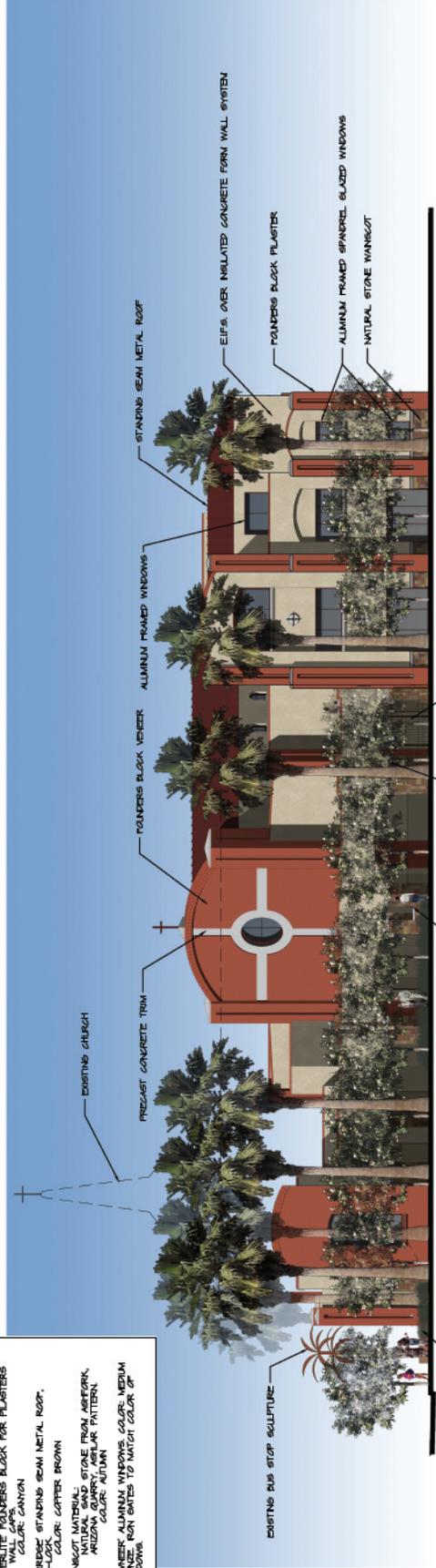


**SOUTH ELEVATION**

WINDOW GLAZING TO BE TRANSLUCENT ALONG UNIVERSITY DRIVE

- STANDING SEAM METAL ROOF
- EIFS OVER INSULATED CONCRETE FORM WALL SYSTEM
- POUNDER'S BLOCK VENEER
- POUNDER'S BLOCK WALL CAP
- POUNDER'S BLOCK PLASTER
- ALUMINUM FRAMED WINDOWS
- NATURAL STONE WAINSCOT AND PLANTER
- SECURITY VISION PANEL
- EXISTING BUS STOP SCULPTURE
- EXISTING CHURCH
- WRIGHT IRON SLENS GATE

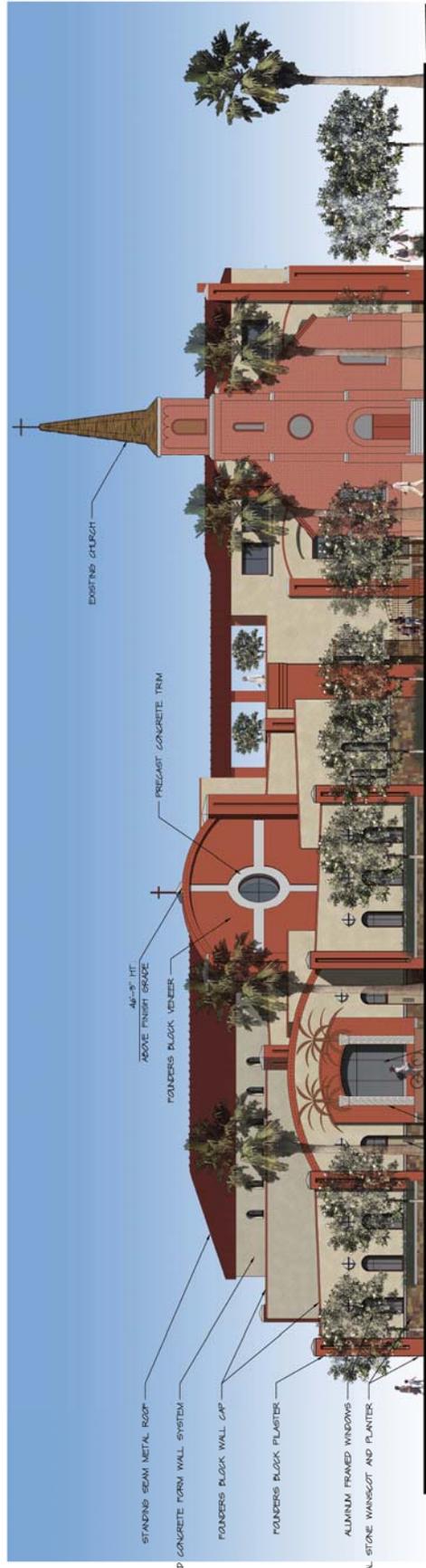
FINISH MATERIAL LEGEND	
A.	SAND FINISH EIFS PERMANENT MOORE COLOR SELLER'S BUT
B.	WAINSCOT POUNDER'S BLOCK FOR PLASTER AND WAINSCOT COLOR CANTON
C.	PERPENDICULAR STANDING SEAM METAL ROOF, ZEE-LOCK COLOR: COPPER BROWN
D.	WAINSCOT NATURAL SAND STONE FROM ASPEN, ARIZONA QUARRY, REGULAR PATTERN, COLOR: BUTTERNUT
E.	NATURAL STONE WAINSCOT COLOR: MEDIUM WAINSCOT IRON GATES TO MATCH COLOR OF WINDOWS



**EAST ELEVATION**

- EXISTING SITE WALL
- EXISTING IRON STAIRS AND GUARDRAIL
- WRIGHT IRON SLENS GATE
- STANDING SEAM METAL ROOF
- ALUMINUM FRAMED WINDOWS
- POUNDER'S BLOCK VENEER
- POUNDER'S BLOCK PLASTER
- ALUMINUM FRAMED SPANREL GLAZED WINDOWS
- NATURAL STONE WAINSCOT
- EXISTING CHURCH
- NATURAL STONE WAINSCOT AND PLANTER





**SOUTH ELEVATION**

1" = 10'-0"



FINISH MATERIAL LEGEND	
A.	SAND FINISH EIFS BENJAMIN MOORE COLOR: SHELLORE BUT
B.	WUOLITE FOUNDERS BLOCK FOR PLASTERERS AND WUOLITE CANTON COLOR: CANTON
C.	TERROSEK STANDING SEAM METAL ROOF COLOR: COPPER BROWN
D.	WANSLOT ALUMINUM WINDOW AND STORE FROM ASPENK, ARIZONA QUARRY, ASPENK PATTERN, COLOR: AUTUMN
E.	WANSLOT ALUMINUM WINDOWS COLOR: MEDIUM WANSLOT ROOF GATES TO MATCH COLOR OF WINDOWS



**EAST ELEVATION**

1" = 10'-0"

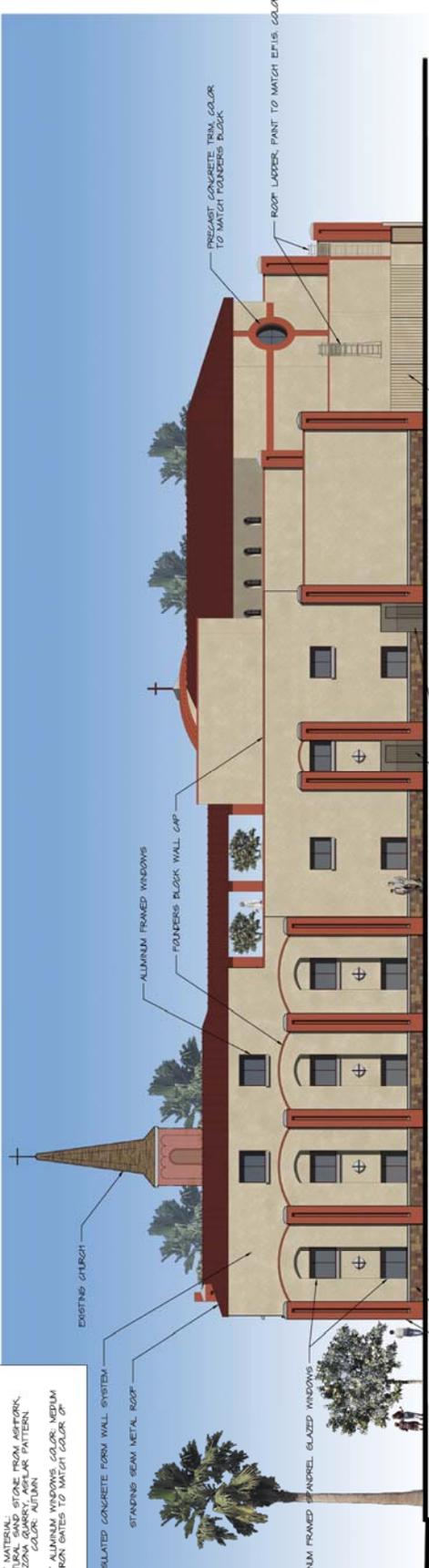




**WEST ELEVATION**

1" = 10'-0"

FINISH MATERIAL LEGEND	
A	SAND FINISH EIF-S, INDIANAN MOORE COLOR, SUELVINE EMP™
B	VERSILITE FOUNDER'S BLOCK FOR PLASTER AND WALL CAPS, COLOR: CANYON
C	PEREDGE STANDING SEAM METAL ROOF, ZEE-L-COLOR: COPPER BROWN
D	WANSKOT MATERIAL, NATURAL SAND STONE FROM ASHFORK, ARIZONA QUARRY, SIMILAR PATTERN, COLOR: ARIZON
E	WANSKOT ALUMINUM FRAMED WINDOW, BRONZE IRON GATES TO MATCH COLOR OF WINDOWS.



**NORTH ELEVATION**

1" = 10'-0"



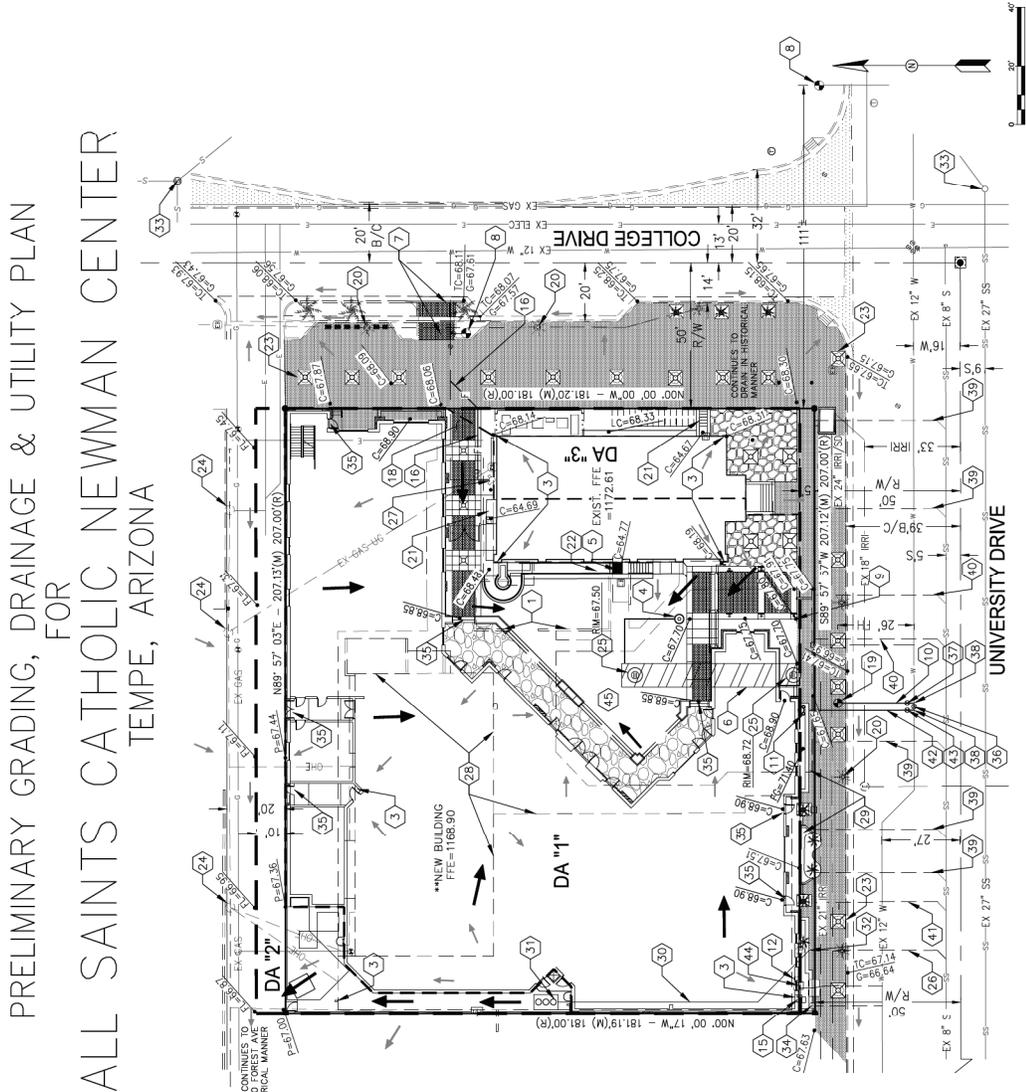
# PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN FOR ALL SAINTS CATHOLIC NEWMAN CENTER TEMPE, ARIZONA

## SYMBOL LEGEND

- EXISTING PARKING/AREA LIGHT
- EXISTING MANHOLE
- EXISTING CLEAN OUT
- EXISTING WATER VALVE
- EXISTING WATER METER BOX
- EXISTING SERVICE
- NEW FIRE HYDRANT
- STORM DRAIN INLET
- EXISTING DRAINAGE FLOW ARROW
- PROPOSED DRAINAGE FLOW ARROW
- W — EXISTING WATER
- G — EXISTING GAS
- F — PROPOSED FIRE LINE
- S — EXISTING SEWER LINE
- S — PROPOSED STORM DRAIN PIPE
- S — LOT (PARCEL) LINE
- — — RIGHT OF WAY LINE
- — — CENTER LINE
- — — DRAINAGE BOUNDARY
- — — 10' DIA. UNDERGROUND RETENTION PIPE
- — — FINISH FLOOR ELEVATION
- — — CONSTRUCTION NOTE
- — — EXISTING GRADE
- — — NEW GRADE

## CONSTRUCTION NOTES

- 1 REMOVE EXISTING WALL/FENCE/GATE
- 2 EXISTING CATCH BASIN
- 3 EXISTING ROOF DRAIN LOCATION
- 4 NEW DRYWELL (SINGLE CHAMBER)
- 5 NEW DRAIN AND SUMP PUMP
- 6 NEW 8" DIAMETER CMP RETENTION PIPE
- 7 REMOVE EXISTING DRIVEWAY & REPLACE W/ CURB, PAVERS AND FLOW THROUGH GUTTER TO MATCH ADJACENT
- 8 EXISTING FIRE HYDRANT
- 9 ULTIMATE SITE OUTCALL
- 10 NEW 6" D.I.P. CLASS 52 POLYWRAP FIRE LINE
- 11 NEW FDC
- 12 RELOCATE EXISTING 2" WATER METER AND SERVICE
- 13 NEW FIRE HYDRANT AND VALVE
- 14 REMOVE EXISTING CATCH BASIN
- 15 RELOCATE 4" FIRE LINE AS SHOWN
- 16 NEW CONCRETE OR DECORATIVE SIDEWALK
- 17 EXISTING STAIRWELL TO REMAIN
- 18 NEW ADA ACCESS RAMP PER ARCHITECT PLAN
- 19 EXISTING TREE PLANTERS TO REMAIN (TYP)
- 20 EXISTING OVERHEAD ELEC POLE (TYP)
- 21 NEW STORM DRAIN ACCESS MANHOLE
- 22 EXISTING ACTIVE SEWER SERVICE
- 23 EXISTING FIRE DEPT. CONNECTION
- 24 DEMO EXISTING BUILDING
- 25 CONSTRUCT NEW LANDSCAPE PLANTER
- 26 NEW 4" SEWER LINE
- 27 NEW 4" SEWER GREASE INTERCEPTOR
- 28 NEW Y CONNECTION TO EXISTING SEWER SERVICE
- 29 EXISTING 4" WATER METER AND SERVICE FOR LANDSCAPE
- 30 BUILDING ENTRANCE
- 31 NEW 12" WATER VALVE
- 32 NEW 6" WATER VALVE
- 33 INSTALL NEW 12"x6" TEE
- 34 CAP EXISTING SEWER SERVICE AT MAIN
- 35 EXISTING SERVICE TO REMAIN FOR FUTURE USE. CAMERA AND TEST FOR USE
- 36 NEW 4" D.I.P. CLASS 52 POLYWRAP FIRE LINE
- 37 NEW 4" WATER VALVE
- 38 NEW 4" BACKFLOW PREVENTOR DEVICE ADJACENT TO BUILDING
- 39 COURTYARD AREA TO BE PRIMARILY TURF



## RETENTION CALCULATIONS

EXISTING RETENTION PROVIDED = 0 CF.  
 DRAINAGE AREAS = 1.23'  
 VOLUME REQUIRED = 0.9' / 2' (2'-YEAR, 1-HOUR STORM)  
 $D = 0.9' (2'-YEAR, 1-HOUR STORM)$   
 $V = 45,611 \text{ SF.}$   
 $C = 0.85$   
 VOLUME REQUIRED = (0.9/12)(38,566)(0.95)  
 VOLUME REQUIRED + "DA 2" (246 C.F.) = 2,994 C.E.  
 VOLUME PROVIDED = 3,077 C.E.

## RETENTION SUMMARY

DA	AREA(SF)	WREQ(CF)	WPROV(CF)	COMMENTS
1	3,089	2,256	3,077	DRAINAGE CONTINUES TO DRAIN AWAY FROM SITE PER HISTORICAL
2	3,457	2,426	NONE	
3	3,408	242	NONE	

## RETENTION SYSTEM 1

RETENTION TYPE	AREA (SF)	WREQ(CF)	WPROV(CF)	DA PROVIDED
8 FT DA CMP	60	3,077	2,994	1, 2, 3

\*RETENTION VOLUME PROVIDED INCLUDES EQUIVALENT PLUS TWO TIMES OF THE AREA.  
 \*\*THE PRIMARY ROOF DRAINS FROM THE NEW BUILDING AND ARE PIPED TO THE NEW UNDERGROUND RETENTION SYSTEM.

DATE: NOVEMBER 22, 2010  
 SHEET: 1 OF 1  
 DESIGNED BY: JMW  
 DRAWN BY: MK  
 TEMP, ARIZONA 85281  
 ADDRESS: 230 E UNIVERSITY DRIVE  
 NEWMAN CENTER  
 PROJECT: ALL SAINTS CATHOLIC CHURCH



REVISION 1:  
 REVISION 2:  
 REVISION 3:  
 PLAN TYPE: PRELIMINARY GRADING AND DRAINAGE PLAN

OWNER:  
 ALL SAINTS CATHOLIC NEWMAN CENTER  
 230 E UNIVERSITY DRIVE  
 TEMPE, ARIZONA 85281  
 PHONE: (480) 967-7823  
 CONTACT: PATER ROB CLEMENTS

ARCHITECT:  
 PHOENIX DESIGN GROUP  
 SUITE 105  
 SCOTTSDALE, ARIZONA 85258  
 PHONE: (480) 451-9773  
 CONTACT: DAVID ARAMBULA

CIVIL ENGINEER:  
 BRODERICK ENGINEERING  
 6892 E. PHOENIX AVENUE, SUITE 124  
 MESA, ARIZONA 85212  
 PHONE: (480) 926-6333 x 205  
 CONTACT: JEFF WIMMER

FLOOD ZONE:  
 THIS SITE IS DESIGNATED AS ZONE "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP PANEL NUMBER 040322707. DATED SEPTEMBER 30, 2005.

LEGAL DESCRIPTION:  
 PARCEL 1: 30 FEET OF LOT 17 AND ALL LOTS 18, 19 AND 20, BLOCK 13 TOWN OF TEMPE, ALSO THE NORTH AND SOUTH SIDES OF ABOVE DESCRIBED LOTS ACCORDING TO PLAT 2 OF MAPS, PAGE 26, MARICOPA COUNTY, ARIZONA.  
 PARCEL 2: 10 FEET OF LOTS OF SEVENTEEN (17) AND LOT SIXTEEN (16), TEMPE, IN THE CITY OF TEMPE, ACCORDING TO THE PLAT IN BOOK 2 PARCEL NO. 22 THAT PORTION OF 8TH STREET NOW VACATED AND ABANDONED BY THE CITY OF TEMPE, ADJOINING PORTIONS OF LOTS 16 AND 17, BLOCK 13, RECORD IN THE OFFICE OF THE COUNTY RECORDER IN BOOK 2 OF MAPS PAGE 26 DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT ON THE SOUTH LINE OF SAID LOT 18 WHICH IS 3 FEET EAST OF THE SOUTHWEST CORNER THEREOF AND RUNNING THENCE EAST, ALONG THE SOUTH LINE OF SAID LOT 18 TO POINT A WHICH IS A DISTANCE OF 42 FEET TO POINT A WHICH IS TO THE EAST OF THE SOUTHWEST CORNER OF SAID LOT 17, THENCE SOUTH, ON A LINE PARALLEL TO THE WEST NORTH LINE OF 8TH STREET AS IT NOW EXIST, TO THE THENCE WESTERLY, ALONG THE NORTH LINE OF 8TH STREET AS IT NOW EXIST, A DISTANCE OF 47 FEET TO POINT B, THENCE NORTH, ALONG SAID PARALLEL LINE, A DISTANCE OF 16 FEET TO THE POINT OF BEGINNING.

NOT FOR CONSTRUCTION

PROFESSIONAL SEAL: DAVID ARAMBULA, CIVIL ENGINEER, LICENSE NO. 43854, STATE OF ARIZONA

1-800-STAKE-IT

BRODERICK ENGINEERING L.L.C.  
 CIVIL & STRUCTURAL ENGINEERING

DATE: NOVEMBER 22, 2010  
 SHEET: 1 OF 1  
 DESIGNED BY: JMW  
 DRAWN BY: MK  
 TEMP, ARIZONA 85281  
 ADDRESS: 230 E UNIVERSITY DRIVE  
 NEWMAN CENTER  
 PROJECT: ALL SAINTS CATHOLIC CHURCH



**PLANT SCHEDULE:**

- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE RELOCATED
- 48" BOX STANWARD 8" HT, 18" SP, 4" CAL.
- 5 GALLON FULL PART CAN
- 9 GALLON FULL PART CAN
- 5 GALLON FULL PART CAN
- 9 GALLON FULL PART CAN
- 5 GALLON FULL PART CAN
- 9 GALLON FULL PART CAN
- 1 GALLON FULL PART CAN

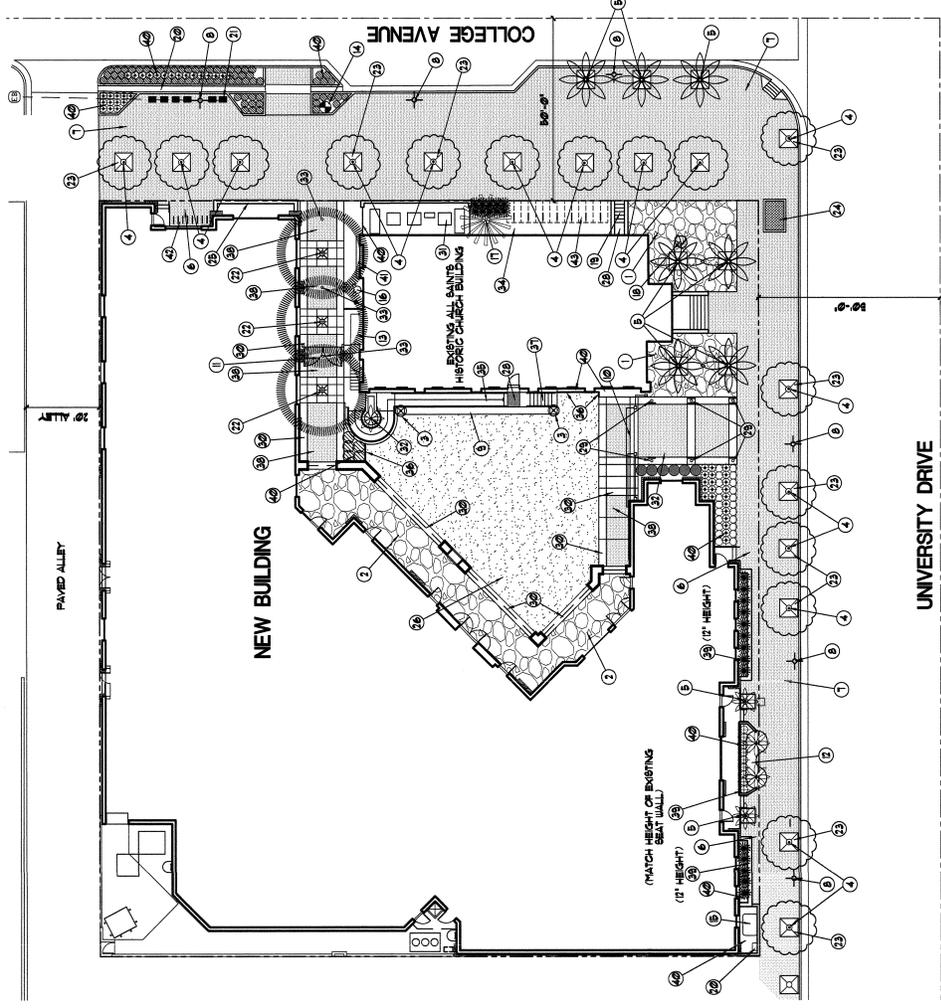
- 3 TOTAL
- 28 TOTAL
- 6 TOTAL
- 8 TOTAL
- 48 TOTAL
- 19 TOTAL
- 22 TOTAL

- QUERCUS VIRGINIANA
- SOUTHERN LIVE OAK
- FRAXINUS CALIFORNICA
- DATE PALM
- PHOENIX PALM
- ORNAMENTAL PEAR
- HERBERTALICE PARVIFOLIA
- RED YUCCA
- CAROLINA GRANADILLA 'S.C.'
- GREEN CARPET
- AGAVE SEROTINA
- TWIN FLOWER AGAVE
- AGAVE MONDANO-REBIS
- HYBRID AGAVE
- RUBELLA BRITTONIANA 'VATIE'
- KATIE RIBELLIA
- WICKELIA
- WICKELIA

**PLAN KEY NOTES: (FOR SITE IMPROVEMENTS AND STREET GRADE LANDSCAPE PLAN)**

- 1 EXISTING FLAGSTONE SURFACE TO REMAIN
- 2 DECORATIVE PAVEMENT
- 3 NEW COURTYARD POLE LIGHTS
- 4 EXISTING OAK TREES AND PRUNAGE TREES WITH CAST IRON TREE GRATES TO REMAIN
- 5 (2) EXISTING DATE PALMS RELOCATED INTO 4" 60. CAST-IRON TREE GRATES (A.D.A. ACCESSIBLE)
- 6 8" HT. BRICK PAVED SURFACE TO MATCH EXISTING
- 7 18" BOX STANWARD CONCRETE
- 8 18" HT. POLE TO REMAIN
- 9 NEW 3" COURTYARD GATE SEATING
- 10 NEW 3" COURTYARD GATE
- 11 'ARD SWING GATE
- 12 8" BOX AT WALL AND METAL PALM TREES (BUS STOP) TO REMAIN
- 13 18" TO ACCESS ABOVE
- 14 18" TO REMAIN
- 15 EXISTING BACKFLOW PREVENTION UNIT AND BATTERY OPERATED CONTROLLER IN SECURITY CAGE
- 16 EXISTING FIRE CONNECTION
- 17 EXISTING PAN FLYS TO REMAIN
- 18 BRICK MOUNTMENT W/ HERBICIDE FLAKE TO REMAIN
- 19 EXISTING STAIRWELL TO BASEMENT
- 20 EXISTING DRAINAGE GUTTER
- 21 EXISTING NEWSPAPER STANDS TO REMAIN
- 22 NEW 3" 60. CAST-IRON TREE GRATE
- 23 EXISTING IRON SURFACE TO REMAIN
- 24 EXISTING TREE GRATES TO REMAIN
- 25 NEW CONCRETE SEATING STEPS
- 26 INSTALL NEW 60.00 MID-IRON LAMIN
- 27 NEW CONCRETE PAVEMENT
- 28 NEW WALKWAY LIGHT BOLLARDS W/ BICYCLE PARKING (ACCOMMODATE 8 BICYCLE PARKING SPACES)
- 29 STAINED/COLORED CONCRETE
- 30 EXISTING MECHANICAL EQUIPMENT
- 31 NEW LIGHT BOLLARDS
- 32 EXISTING RIVER RUN STONE TO BE REMOVED AND REPLACED WITH 2" DEEP, 1" EXPANDED 'SANTA FE BRIDGE' DECOMPOSED GRANITE
- 33 NEW RAMP TO BASEMENT
- 34 6"X6" CONCRETE HEADER
- 35 NEW CONCRETE STEPS TO BASEMENT LANDINGS
- 36 NEW BRICK PAVEMENT
- 37 NEW RAISED PLANTER (SEE PLAN FOR HEIGHT)
- 38 INSTALL 2" DEEP, 1" EXPANDED 'SANTA FE BRIDGE' DECOMPOSED GRANITE THRU-OUT PLANTER
- 39 ELECTRICAL PANEL
- 40 36" SIDE LOOPS SPACED @ 6" (8 TOTAL)
- 41 BICYCLE PARKING (14 SPACES)

**ATTACHMENT 15**



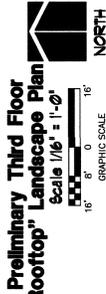
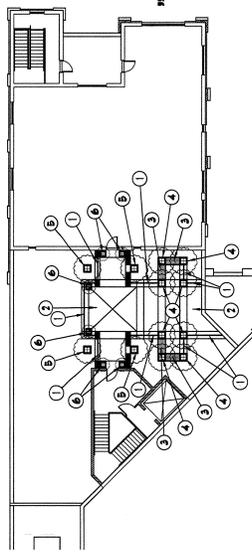
**PLAN KEY NOTES: (FOR ROOFTOP LANDSCAPE PLAN ONLY)**

- 1 DECORATIVE METAL FININGS
  - 2 STAINED CONCRETE FLOOR W/ CONTROL JOINTS
  - 3 4" LONG x 2" WIDE W/ BRANCH SUPPORTED BY POTS
  - 4 2" 60. HERBICIDE STONEMULLER POT W/ 20" BOX CITRUS TREE PRIVET
  - 5 2" 60. HERBICIDE STONEMULLER POT W/ 20" BOX WAX-LEAF
  - 6 10" 60. HERBICIDE STONEMULLER POT W/ 8" GALL BIRD HERBICIDE TREE AND (4) GALL YELLOW DOT IN PLANTER
- NOTE: ALL POTS SHALL HAVE MANUFACTURER'S WATER RESERVOIRS FOR SELF WATERING OF PLANTS.



**Preliminary Landscape And Site Improvements**  
Scale 1/8" = 1'-0"

**"Rooftop" Third Floor Landscape Plan**  
Scale 1/8" = 1'-0"



**philip r. ryan**  
landscape architect p.c.  
landscape architecture & planning  
3715 N. CENTRAL AVENUE, SUITE 223  
PHOENIX, ARIZONA 85018  
(480) 968-9513 fax (480) 968-3674



ALL SAINTS CATHOLIC NEWMAN CENTER  
AT ARIZONA STATE UNIVERSITY, TEMPE, AZ

JOB NO.:  
FDC-1550  
DATE: 10/15/10  
REVISION:  
CHECKED BY:  
DATE:  
FRER  
SHEET NO.





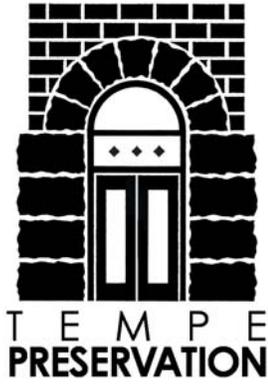












# Tempe Historic Preservation Commission (Tempe HPC) Tempe Historic Preservation Office

Thursday, December 09, 2010

David Arambula  
Phoenix Design Group LLC  
10245 Via Linda  
Scottsdale AZ. 85258

## HISTORIC PRESERVATION COMMISSION

Anne Bilsbarrow  
Elias Y. Esquer  
Bob Gasser, Chair  
Charlie Lee, Alternate  
Kriste Melcher  
Trista Taylor, Alternate  
Liz Wilson, Vice-Chair

## HISTORIC PRESERVATION OFFICE

Amy Douglass  
Nathan Hallam  
E Hunter Hansen  
Wm. "Billy" Kiser  
Joe Nucci  
John Southard  
Mark Vinson

The City of Tempe is a  
Certified Local  
Government,  
in association with the  
United States Department  
of the Interior / National  
Park Service

Tempe Historic  
Preservation Office  
Community Development  
Department  
31 East 5th Street  
P.O. Box 5002  
Tempe, AZ 85280  
**480.350.8028**  
8579 FAX; 8913TDD

Congratulations. The Tempe Historic Preservation Commission has conditionally approved your project referred to as "Changes Proposed at All Saints Catholic Newman Center (Old St. Mary's Church)". At their meeting on October 14, 2010, the Tempe Historic Preservation Commission voted unanimous support for the project described in general as a request for new construction consisting of a new 600 seat worship center, a new 250 person social hall, new administrative offices for the center and catholic mission as well as religious educational classrooms.

This Historic Preservation Commission approval is subject to the following 2 conditions.

- 1) New construction, site features, landscaping, and related appurtenances shall be held away from contact with the historic façades by a distance adequate to ensure no physical damage to the historic structure will occur during construction.
- 2) New circulation to the historic structure shall be designed and constructed so as to make contact with the historic façades in such manner as to minimize impact to the historic structure.

Tempe Preservation assists owners in the preservation and restoration of their historic properties. It is the intent of the city to make ownership of a landmark, historic property or property within an historic district as beneficial as possible. As you continue through the permitting process Tempe Preservation may be able to provide additional assistance and support for your project. Please don't hesitate to call on us to assist in the continued preservation of this important community cultural resource at any time.

Congratulations again on receiving unanimous support for your project from HPC. This is a credit to the quality of the design and to your sensitivity to the historic setting. Thank you as well for your continued support of Tempe Preservation.

Yours Very Truly,

Joseph G. Nucci, Historic Preservation Officer  
[www.tempe.gov/historicpres](http://www.tempe.gov/historicpres)    [joe\\_nucci@tempe.gov](mailto:joe_nucci@tempe.gov)

