

# EXHIBIT A

## EXHIBIT A - GMP SUMMARY



CONTRACTOR: Okland Construction Co., Inc.  
 1700 North McClintock  
 Tempe, AZ 85281

PROJECT NO.: 6702491  
 PROJECT NAME: Tempe Public Library Renovation  
 DATE: May 4, 2009

GMP SUMMARY			
DIRECT COSTS			Amount
A.	Cost of the Work (Labor, Materials, Equipment, Warranty)		\$ 5,052,310.00
INDIRECT COSTS			Rate
B.	CM @ Risk's Contingency (Not Included, By Owner)		0.00% \$ -
C.	Construction Fee		5.00% \$ 324,461.00
D.	General Conditions		10.45% \$ 677,564.00
	D1.	Payment and Performance Bond	0.60% \$ 39,016.00
	D2.	Insurance	1.02% \$ 66,328.00
E.	Sales Taxes (5.6% State, 0.7% County, 1.8% Tempe - Factored)		4.99% \$ 323,740.00
			F. TOTAL GMP \$ 6,483,419.00
			OWNER'S CONTINGENCY \$ 340,000.00
			TOTAL PROJECT COST \$ 6,823,419.00

MAN

**TEMPE PUBLIC LIBRARY RENOVATION**  
 C.O.T. PROJECT # 6702491  
 Bid Set Dated 03-31-09  
 SCHEDULE OF VALUES  
 May 4, 2009



DIV	DESCRIPTION OF WORK	TOTAL
02	EXISTING CONDITIONS - STAGING PREMIUM & DEMOLITION	517,091
03	CONCRETE	43,493
04	MASONRY	-
05	STEEL	-
	MISCELLANEOUS STEEL	18,732
	HANDRAIL & SMOKE BAFFLE	72,975
06	WOOD & PLASTIC	-
	BLOCKING	64,716
	CABINETS & COUNTERTOPS	185,964
	RESIN WALL PANELS	-
07	THERMAL PROTECTION	29,657
08	OPENINGS	-
	DOORS	115,706
	GLAZING	33,770
09	FINISHES	-
	GYPSUM WALLBOARD & FRAMING	291,212
	ACOUSTICAL CEILINGS	142,100
	FLOORING & CERAMIC TILE (w/2nd FLOOR)	454,442
	TERRAZO	50,865
	PAINTING	75,746
10	SPECIALTIES	46,425
11	EQUIPMENT	12,694
12	FURNISHING ALLOWANCE	1,246,100
13	SPECIAL CONSTRUCTION	-
14	CONVEYING SYSTEMS	-
21	FIRE SUPPRESSION	80,800
22	PLUMBING	64,910
23	MECHANICAL	425,577
26	ELECTRICAL	-
	GENERAL ELECTRICAL UPGRADES	745,931
	IT CABLING ALLOWANCE	176,755
	AV EQUIPMENT ALLOWANCE	128,150
31	EARTHWORK	-
32	EXTERIOR (LANDSCAPE ONLY)	8,500
33	UTILITIES	-
	GENERAL CONDITIONS	677,564
	FINAL CODE REVIEW ALLOWANCE	20,000
<b>SUBTOTAL</b>		<b>5,729,874</b>
<b>INDIRECT COSTS</b>		
	5.00% FEE	324,461
	0.60% BOND	39,016
	0.30% BUILDER'S RISK INSURANCE	19,508
	0.72% GL INSURANCE	46,820
	5.27% PRIVILEGE TAX	323,740
<b>TOTAL INDIRECT COSTS</b>		<b>753,545</b>
<b>CONSTRUCTION TOTAL</b>		<b>6,483,419</b>

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 LOWER LEVEL BUILDING  
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Description of Work	Total Qty	Unit	GMP Estimate	Notes
<b>DIV 01 GENERAL REQUIREMENTS</b>				
01100 Summary				
01250 Substitution Procedures				
01260 Contract Modifications Procedures				
01290 Payment Procedures				
01330 Submittal Procedures				
01400 Quality Requirements				
01420 References				
01500 Temporary Facilities & Controls				
01600 Product Requirements				
01770 Closeout Procedures				
01782 Operation & Maintenance Data				
01783 Project Record Documents				
2nd Floor Work				
2nd Floor Work per Plans			Excluded	VE
General Requirements				
Third Party Testing			By Owner	
Special Inspections			By Owner	
Permits, Fees, Etc			By Owner	
Warranty Administration	1.00	ls	See GCs Estimate	
General Conditions				
Separate Estimate	1.00	ls	677,564	Included
<b>TOTAL GENERAL CONDITIONS</b>			<b>677,564</b>	
<b>DIV 02 EXISTING CONDITIONS</b>				
Security for Construction Check-In/Out			Excluded	Deleted per City
Security or Oakland Employee				
General Cleaning, Partition Management, Staging Management, Additional Library Moving Help				
Labor Foreman	67,548	ls	67,548	
Labor Day	42,434	ls	42,434	
Labor Night	21,217	ls	21,217	
Material - Brooms, Etc.	156	wk	1,382	
Misc. Demo Waste - Rubbish Removal	30	pulls	11,250	
Traffic Control & Other Temporary Barriers Outside				
Pedestrian Control & Barricades	1	ls	8,500	
Protection				
Protection of Existing Structures as Necessary	1	ls	15,000	
Access				
Build Platform at Existing Stair #3 for LL Access	1	ls	10,000	
Small Scissor Lift for Lower Level Construction	6	mo	14,100	
Storm Water Pollution Prevention				
Erect Silt Fence			Excluded	
Maintain Silt Fence ( 25 Wks @ 16 Hrs per Wk )			Excluded	
Construct Gravel Entrances			Excluded	
Metal Strips at Entrance			Excluded	
Maintain Entrances			Excluded	
Dust Control / Street Sweeping			Excluded	
Temporary Measures				
Site Safety & Security				
Temporary Jobsite Site Fencing	1,000	lf	4,500	
Construction Gates	3	ea	450	
Pedestrian Gates	2	ea	200	
Move During Construction for Festival	2,025	ls	2,025	
Maintain During Construction	4,052	ls	4,052	
02411 Selective Structure Demolition	1.00	ls	139,160	Sub to be Determined
Bid from Subcontractor				
Survey / Layout / Quality Control / Misc. Demo / Misc. Tasks	36,372	ls	37,061	
Survey, Layout, Quality Control, Misc. Demo, Misc. Tasks				
Demolition Per D-Sheets				
Asbestos Survey or Asbestos Abatement			Excluded	
Hazardous Material / Regulated Materials Identification, Handling, or Removal			Excluded	
See Other Divisions				
01-Modify Existing Glazing & AL Storefront 8/A501	50.00	ea	Included	
10a-Salvage Existing Bath Partitions	140.00	lf	Included	
13-Remove Existing Plumbing Fixtures	29.00	ea	Included	
13a-Remove & Re-Install Existing Plumbing Fixtures	22.00	ea	Included	
14-Remove Existing Drinking Fountains	7.00	ea	Included	
24-Remove Existing Storefront (New Doors) A501	11.00	lf	Included	
Remove Carpet on 2nd Floor	20,265.00	sf	Included	
By Division 02 Contractors				
02-Existing Ceiling System to Remain	45.00	ea	No Work	
03-Remove Existing Borrowed Light Frame & Glazing	247.00	lf	Included	
04-Remove Existing Granite Service Desk	220.00	lf	Included	
05-Remove Existing Operable Wall System	2.00	ea	Included	
06-Remove Existing Wall Mounted Pay Phone	1.00	ea	Included	
07-Remove Existing Full Depth Brick Veneer	4.00	lf	Included	
08-Remove Existing Wall Countertop, Mirror, Etc.	91.00	lf	Included	
09-Remove Existing Slab, Etc.	629.00	sf	Included	
10-Remove Existing Toilet Partitions, Acc, Etc.	2.00	ea	Included	
11-Remove Existing Full Dept Brick Veneer @ Col.	92.00	lf	Included	
12-Remove Existing Casework	481.00	lf	Included	
15-Remove Existing Book Return Slots	2.00	ea	Included	
16-Remove Brick Veneer & Framing	337.00	lf	Included	

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17-Salvage for Re-Use Fire Extinguisher & Cabinet	8.00	ea	800	
17-Salvage for Re-Use Fire Extinguisher & Cabinet Not Shown	1.00	ea	100	
18-Remove Granite Treads, Etc. @ Stair	98.00	lf	Included	
18a-Remove Granite Treads, Etc. @ Stair	207.00	sf	Included	
19-Remove Steel Railing & Wood @ Stair	176.00	lf	Included	
20-Remove Existing Rolling Counter Door	11.00	lf	Included	
21-Salvage Dishwasher (Give to Owner)	1.00	ea	250	
22-Remove Insert in Entrance Mat	282.00	sf	Included	
23-Remove CIP Wall & Gypsum	3.00	lf	Included	
25-Remove Existing Ramp	100.00	sf	Included	
26-Remove Existing Door (Keep Frame, Operators, Etc)	4.00	ea	Included	
27-Remove Existing Partial Height Wall	24.00	lf	Included	
28-Remove Portion of Existing Wall (Brick & Framing)	91.00	lf	Included	
29-Remove Granite & Framing	57.00	lf	Included	
30-Remove Existing Metal Lockers	18.00	lf	Included	
31-Salvage Existing Lockers	11.00	lf	No Work	
32-Remove Portion of Wall for Louvers	2.00	ea	Included	
33-Remove Existing Ext Wall for Louvers	2.00	ea	Included	
34-Remove Gyp, Tile, Etc from Bath (Salvage Studs)	373.00	lf	Included	
34a-Demo Floor Tile	1,697.00	lf	Included	
35-Relocate Floor Safe	1.00	ea	2,500	
36-Remove Existing Overhead Colling Grill	1.00	ea	Included	
37-Remove Granite Wall (Salvage Plaque)	15.00	lf	Included	
37a-Salvage Plaque	1.00	ea	Included	
38-Remove Existing Gyp & Studs	1,315.00	lf	Included	
39-Provide Opening in Existing Wall for New Drop	2.00	ea	Included	
40-Salvage Existing Art Rail	33.00	lf	165	
41-Remove Existing Entrance Mat and Frame	126.00	sf	Included	
42-Remove Portion of Existing Soffit	152.00	sf	Included	
43-Salvage Book Detection System	3.00	ea	300	
44-Remove Existing Granite Slab at Elevator Sill	5.00	sf	Included	
45-Salvage Wood Slat Ceiling	818.00	sf	614	
Jobsite Visit to Verify All Items	-	ea	Included	
Remove Tile Floors as shown New	-	ea	Included	
Remove Carpet and Other Floors as Shown New	67,449.00	sf	Included	
Remove Ceilings as Shown New	67,449.00	sf	Included	
Demo of Topping & Tile for New Drain 3/S102	50.00	ea	See Below	
Demo Soffit for New Work	560.00	sf	560	
Cut Trench into Tile & Grout Bed	50.00	lf	400	
3/S102 - New Wall Openings	6.00	ea	Included	
5/S102 - New Slab Openings	1.00	ea	Included	
7/S102 - New Roof Opening	1.00	ea	Included	
Salvage Existing Signage.	1.00	ls	2,500	
Site Demolition A501				
Remove Shrubs & Other General Plantings	1,033	ls	Included	
Remove Sidewalks	596.00	ea	Included	
Remove Trees & Stumps	2.00	ea	Included	
Labor for Stage Set-up & Help Move Furniture (Major Moving Furniture by Others)				
Labor for Stage Set-up & Also Help Move Furniture	37,760.10	ls	37,760	
Miscellaneous				
X-Ray of Slab for General Penetrations	1	ls	5,000	
Miscellaneous Engineering for New Openings	1	ls	3,500	Allowance
Build Temporary Partition Wall Panels				
Build Temporary Partition Wall Panels	3,040.00	ls	3,040	Included
Studs to Build 400' of Partition 13' Tall	5,200.00	sf	10,400	
Temporary Doors	3.00	ea	2,250	
1/2" Plywood	5,200.00	sf	3,900	
Paint Plywood	3,200.00	sf	1,600	
10 Mil Vapor Material for Top of Walls	8,400.00	sf	2,100	
Lower Level Phase (175 LF)				
Install Pre-Built Temporary Partitions Panels	3,060.00	ls	3,060	
Block / Limit Access to 1st Floor Doors	510.00	ls	510	
Block / Limit Access to Lower Level Doors	1,870.00	ls	1,870	
Labor to Maintain Temp Measures 8 Hrs Week	8,833.20	ls	8,833	
Labor to Un-Install Temporary Measures	680.00	ls	680	
Walk-Off Mats at Entrances	2.00	ea	150	
Make Exterior Door Temporary for Learning	1.00	ea	1,600	
Scaffolding of Interior Stair				
Scaffolding at Center Stair	1.00	ls	8,000	
Main Level Phase 1 (275 LF)				
Install Pre-Built Temporary Partitions Panels	3,060.00	ls	3,060	
Block / Limit Access to Doors	170.00	ls	170	
Labor to Maintain Temp Measures 8 Hrs Week	1,360.00	ls	1,360	
Labor to Un-Install Temporary Measures	680.00	ls	680	
Walk-Off Mats at Entrances	2.00	ea	150	
Main Level Phase 2 (350 LF)				
Install Pre-Built Temporary Partitions Panels	4,080.00	ls	4,080	
Block / Limit Access to Doors	680.00	ls	680	
Labor to Maintain Temp Measures 8 Hrs Week	5,440.00	ls	5,440	
Labor to Un-Install Temporary Measures	680.00	ls	680	
Walk-Off Mats at Entrances	2.00	ea	150	
Main Level Phase 3 (250 LF)				
Install Pre-Built Temporary Partitions Panels	3,060.00	ls	3,060	
Block / Limit Access to Doors	170.00	ls	170	
Labor to Maintain Temp Measures 8 Hrs Week	2,040.00	ls	2,040	
Labor to Un-Install Temporary Measures	680.00	ls	680	

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Description of Work	Total Qty	Unit	GMP Estimate	Notes
Walk-Off Mats at Entrances	2.00	ea	150	
<b>Main Level Phase 4 (175 LF)</b>				
Install Pre-Built Temporary Partitions Panels	3,050.00	ls	3,050	
Block / Limit Access to Doors	510.00	ls	510	
Labor to Maintain Temp Measures 8 Hrs Week	2,380.00	ls	2,380	
Labor to Un-Install Temporary Measures	680.00	ls	680	
Walk-Off Mats at Entrances	2.00	ea	150	
<b>Main Level Phase 5 (175 LF)</b>				
Install Pre-Built Temporary Partitions Panels	3,050.00	ls	3,050	
Block / Limit Access to Doors	510.00	ls	510	
Labor to Maintain Temp Measures 8 Hrs Week	1,360.00	ls	1,360	
Labor to Un-Install Temporary Measures	1,360.00	ls	1,360	
Walk-Off Mats at Entrances	2.00	ea	150	
<b>TOTAL EXISTING CONDITIONS</b>			<b>517,090</b>	

DIV 03 CONCRETE

033100 Structural Concrete

Building Concrete

At Old Stage

4" ABC Under Slab	25	ton	1,009	
Standard 6-Mil Vapor Barrier	1,065	sf	266	
4" Concrete (Finished & Cured)	1,065	sf	See Below	
Concrete Material - 3000 PSI Std. Mix	15	cy	1,328	
Line Pump Concrete - Mobilization	1	ea	250	
Line Pump Concrete - HR Charge	3	hr	255	
Concrete / Pump Wash Out Charge	2	ea	300	
Labor to Place Concrete	72	hr	3,132	
Cure	362	sf	127	
Subcontractor Overhead & Profit	809	ls	809	
4x4-W2.9xW2.9 Welded Wire Mesh	1,065	sf	533	
2/S102 (Extra Reinforcing)	90.00	lbs	81	
3/S102 - Saw Cut	171.00	lf	342	
4/S102 - #6 by 16" Dowel (D/E)	94.00	ea	705	
<b>Topping at Limited Granite Depression Removal &amp; Stair Landing</b>				
3" Max Concrete Fill Around Upper Stairs	306	sf	See Below	
3" Max Concrete Fill At Elevator Due to Slope	36	sf	See Below	
3" Max Concrete Fill At Stair Landing	162	sf	See Below	
Bonding Agent	504	sf	176	
Concrete Material - 3000 PSI 3/8"	5	cy	513	
Concrete Wash Out Charge	1	ea	150	
Labor to Place Concrete	72	hr	3,132	
Cure	504	sf	126	
Saw Cut	1	sf	250	
#6's at 12" O.C.	78.00	ea	624	
4x4W2.9xW2.9 Welded Wire Mesh	504	sf	504	
Form Edge at Stair	156	lf	780	
<b>Pony Wall Steel Support</b>				
8" Dia Core for 7/S102	9	ea	900	
8" Dia by 30" Footing	9	ea	3,150	
<b>Fill in Book Drop 2036 (S104)</b>				
Bonding Agent	67	sf	23	
Concrete Material - 3000 PSI 3/8"	2	cy	248	
Concrete Wash Out Charge	1	ea	150	
Labor to Place Concrete	32	hr	1,392	
Cure	67	sf	23	
Saw Cut	1	sf	250	
#6's at 12" O.C.	34.00	ea	272	
4x4W2.9xW2.9 Welded Wire Mesh	67	sf	67	
Rebar	1	ls	100	
3" Insulation	67	sf	168	
Form Stair Tread	1	ea	250	
<b>Sidewalks</b>				
4" Sidewalks - Stoops	254	sf	1,397	
4" Sidewalks - New Entrance	628	sf	2,512	
6" ABC under Pavement	31	ton	614	
4x4 W2.9xW2.9 Welded Wire Mesh	882	sf	353	
Stoop Thicken Edge	62.00	lf	186	
#3 Dowels at 12" O.C.	62.00	ea	496	
<b>Entrance Sign - A501</b>				
8" Dia Core	4	ea	400	
Grout Core	4	ea	400	
<b>Southwest Reading Deck Water Fix</b>				
Grout Fill of Trench	56.00	lf	1,400	
<b>Other</b>				
Bike Hoops - Dero "Hoop Rack Heavy Duty"	2.00	ea	700	
Pads, Curbs, Etc.	1.00	ls	5,500	
Repair Budget - Patch Floors for MEP	1.00	ls	See Below	
New Concrete for Floor Boxes w/Dowels	487.50	ea	4,875	
New Concrete for Mechanical w/Dowels	227.50	ea	2,275	
<b>TOTAL CONCRETE</b>			<b>43,493</b>	

DIV 04 MASONRY

None

None

Excluded

TOTAL MASONRY

DIV 05 METALS

Bid from Subcontractor

1.00 ls

15,732 Sub to be Determined

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<b>05400 Cold-Formed Metal Framing</b>				
Misc. Building Work				
3/S102 - Wall Opening	30	lf	Included	
5/S102 - Slab Opening	1	ea	Included	
7/S102 - Slab Opening	1	ea	Included	
Pony Wall Steel				
07/S102 - HSS 3x4x3/16 (8' Tall)	9.00	ea	Included	
Add Cap to Top	9.00	ea	Included	
Misc. Stair Steel				
12/A304 - 8Lx12Hx1/2" w/Exp Anchors	1.79	ton	Included	
12/A304 - 9"x4.5"x1/2" Steel - Welded	1.21	ton	Included	
Add#2 Glass - 8"x4-1/2"x1/2" w/Exp Anchors	0.54	ton	Included	
Add#2 Glass - 9"x4-1/2"x1/2" - Welded	0.58	ton	Included	
Add#2 Gyp - 8"x4-1/2"x1/2"w/Exp Anchors	0.22	ton	Included	
Add #2 Gyp - 9"x1/2" Plate	0.16	ton	Included	
Stair Steel - 6/S103				
Steel Deck 1.0C24	52.00	sf	Included	
9"x4.5"x1/2" w/Studs	0.48	ton	Included	
3.5"x3.5"x3/8" w/Studs	0.10	ton	Included	
Other Misc. Steel				
General Steel	70,000.00	sf	3,000	
<b>05730 Decorative Metal Railings</b>				
Bid from Subcontractor	1.00	ls	80,345	Sub to be Determined
Reduce Glass Thickness from 3/4" to 1/2" - VE	1.00	ls	(2,700)	VE
Allow MFG of Handrail to Build Smoke Baffle" - VE	1.00	ls	(7,770)	VE
Handrail @ Stairs				
42" Glass Rail w(1) 1-1/2" Dia Handrails	76.50	lf	Included	
42" Glass Rail w(1) 1-1/2" Dia Handrails	19.50	lf	Included	
42" Glass Rail w(2) 1-1/2" Dia Handrails at Angle	32.00	lf	Included	
42" Glass Rail w(1) 1-1/2" Dia Handrails	18.00	lf	Included	
Wall Mounted Handrails (2)	20.00	lf	Included	
<b>05731 Smoke Baffle System</b>				
Smoke Baffle with Frame & Glass	80.00	lf	Included	
Angle at Smoke Baffle - Structural	1.00	ls	1,200	
Cladding of Support per 12/A304	1.00	ls	Included	
Mock-Up	1.00	ls	1,900	
<b>TOTAL STEEL</b>			<b>91,707</b>	
<b>DIV 06 WOOD, PLASTICS AND COMPOSITES</b>				
<b>06100 Rough Carpentry</b>				
Wood Blocking				
Carpenters to Install Blocking, Backing & Other Misc. Framing	40,529	hr	40,529	Included
Blocking at Casework Material	6,298.22	lf	15,746	Included
Blocking at Millwork Material	482.18	lf	1,205	Included
Blocking at Vanity Material	77.06	lf	193	Included
Blocking at Accessories Material	1,383.00	lf	3,458	Included
2xPressure Treated Material 9/A501	120.00	lf	240	Included
Plywood at Castle Material	1,056.00	sf	1,584	Included
General Blocking Material Budget	69,900.00	sf	1,378	Included
Fire Rated Plywood Material at E301a	192.00	sf	384	Included
<b>06402 Interior Architectural Woodwork</b>				
<b>09772 Fabric-Wrapped Panels</b>				
Bid Amount Casework & Countertops	1.00	ls	93,742	Sub to be Determined
Add Magnetic Boards (Perforated)	1.00	ls	3,500	Sub to be Determined
Youth Entry Ramp per A820	1.00	ls	2,900	Sub to be Determined
Solid Surface Countertops	1.00	ls	20,634	Sub to be Determined
Millwork - General	1.00	ls	7,000	Sub to be Determined
Cushions	1.00	ls	Included	Sub to be Determined
Tack Able Wall Panels (09771)	1.00	ls	6,500	Sub to be Determined
Remove AWI Certification - VE	1.00	ls	(7,500)	VE
<b>Perforated Metal Panels</b>				
5/A802 - Perforated Metal Panels 3' Square	45.00	sf	Included	
U-Edging	60.00	lf	Included	
<b>Millwork</b>				
3/4" Maple Cap @ Stair 2,3,4/A304 Vertical	36.00	lf	Included	
3/4" Maple Cap @ Stair Top Rail 11/A304	60.00	lf	Included	
3/4" Maple @ Stair Windows 11/A304	26.00	lf	Included	
3/4" Maple @ Stair Windows 11/A304	11.00	lf	Included	
3/4" Maple Cap Family Computing (Cut Up) A803	100.00	lf	Included	
3/4" Maple Cap Youth Entry (Cut Up) A803	66.00	lf	Included	
3/4" Maple Cap Lobby 1032 (Cut Up) A803	7.00	lf	Included	
3/4" Maple Cap 3/A812 Pass Troughs	16.00	lf	Included	
3/4" Maple Cap 3/A812 Windows	8.68	lf	Included	
3/4" Maple Cap 4/A812 Pass Through	9.00	lf	Included	
3/4" Maple Cap 5/A812	16.00	lf	Included	
3/4" Maple Cap 7/A812	36.00	lf	Included	
3/4" Maple Cap A812 Doors 16/A603	39.00	lf	Included	
3/4" Maple Cap 6/A812	10.50	lf	Included	
3/4" Maple Cap 11/A804 & 8/A820	21.00	lf	Included	
3/4" Maple Cap 2/A805 & 13/A820	20.00	lf	Included	
Particle Board Ring per A303	12.00	ea	Included	
<b>Vanity @ New Bathrooms</b>				
4/A801 - Solid Surface Vanity w/Backsplash Support	22.34	lf	Included	
Trash Grommet	2.00	ea	Included	
4.00	ea	Included		
<b>Vanity @ Existing Bathrooms</b>				
4/A801 - Solid Surface Vanity w/Backsplash	30.72	lf	Included	

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Description of Work	Total		GMP		Notes
	Qty	Unit	Estimate		
Support - Men	4.00	ea			Included
Support - Women	6.00	ea			Included
Trash Grommet	8.00	ea			Included
<b>Casework</b>					
<b>Lower Level</b>					
1/A802 - Copy Center Base Cabinets	3.67	lf			Included
09-Equipment By Owner (Coin Tower)				By Owner	
2/A802 - Copy center Base Cabinet	14.01	lf			Included
09-Equipment By Owner (two pieces)				By Owner	
3/A802 - Youth Workroom Base	16.34	lf			Included
3/A802 - Youth Workroom Upper	16.34	lf			Included
09-Equipment By Owner (Fridge)				By Owner	
09-Equipment By Owner (Microwave)				By Owner	
4/A802 - Youth Program Base	9.00	lf			Included
4/A802 - Youth Program Upper	9.00	lf			Included
7/A802 - CAC Workroom Base	8.00	lf			Included
7/A802 - CAC Workroom Upper	8.00	lf			Included
09-Equipment By Owner (Fridge)				By Owner	
09-Equipment By Owner (3 Pieces)				By Owner	
8/A802 - Kitchen Base	12.00	lf			Included
8/A802 - Kitchen Upper	12.00	lf			Included
09-Equipment By Owner (Fridge)				By Owner	
09-Equipment By Owner (Microwave)				By Owner	
9/A802 - Teens Counter	4.00	lf			Included
10/A802 - Teens Counter	8.50	lf			Included
09-Equipment By Owner (3 Pieces)				By Owner	
11/A802 - Teens Countertop	31.00	lf			Included
09-Equipment By Owner (6 Pieces)				By Owner	
18/A802 - Tack able Wall Panel	387.18	sf			Included
1/A803 - Family Computing Countertop	35.00	lf			Included
09-Equipment By Owner (7 Pieces)	In Above			By Owner	
4/A803 & 11/A820 Flat Panel Blk 5.84x3.84					
11/A820 3/4" Wood Trim 9" Wide	20.00	lf			Included
11/A820 3/4" Plywood Veneer	24.00	sf			Included
6/A803 & 12/A820 Flat Panel Blk 2.5x1.84					
12/A820 Niche	1.00	ls			Included
09-Equipment By Owner				By Owner	
8/A803 & 14/A820 Opening	49.50	sf			Included
3/4" Plywood Veneer Top	24.00	sf			Included
3/4" Plywood Veneer Sides	38.50	sf			Included
3/4" Trim	11.00	lf			Included
1/A810 - Youth Entry Self Check	13.01	lf			Included
09-Equipment By Owner				By Owner	
Gallery Cactus - A811					
9/A812-Bench (Plywood/Trim/Etc)	30.00	lf			Included
Castle - A812					
3/4" Plywood Substrate	300.00	sf			Included
Platform 7/A812 to 10/A812					
Built-Up Framing - Standard Studs 2x10's	16.00	sf			Included
2-layers 3/4" Plywood	36.00	sf			Included
3/4" Trim approx 5" Tall	22.00	lf			Included
3/4" Trim 2" Wide	22.00	lf			Included
7/A820-Bench (Plywood/Trim/Etc)	4.00	lf			Included
Metal Stud & Gyp				By Gyp	
Cushion	2.00	lf			Included
9/A812-Bench (Plywood/Trim/Etc)	2.00	lf			Included
Cushion	4.00	lf			Included
Metal Stud & Gyp				See Gyp	
Radius / Movable Upholstered Wood Bench					
Radius Bench Assembly (Ply/Trim/Etc.)	32.00	lf			Included
Cushion Back	32.00	lf			Included
Cushion Seat	32.00	lf			Included
6/A820 - 2 Layers of 3/4" Plywood Veneer	80.00	sf			Included
Ramp 9 & 6/A820					
Built-Up Floor - 6" 2x Material	70.00	sf			Included
2-3/4" Plywood Substrate	140.00	sf			Included
1/2" Sound control Underlayment	70.00	sf			Included
<b>Upper Level</b>					
1/A804 - Adult Workroom Base	11.59	lf			Included
1/A804 - Adult Workroom Upper	11.59	lf			Included
09-Equipment By Owner (Refrigerator)				By Owner	
2/A804 - Adult Work	15.51	lf			Included
3/A804 - Popular Media	1.00	ea			Included
4/A804 - Book Return Counter	22.00	lf			Included
5/A804 - Circulation Base	18.00	lf			Included
5/A804 - Circulation Upper	18.00	lf			Included
6/A804 - Book Return Counter	16.00	lf			Included
09-Equipment By Owner (Safe)				By Owner	
09-Equipment By Owner (Other)				By Owner	
7/A804 - Circulation Counter	6.00	lf			Included
7/A804 - Circulation Base	6.00	lf			Included
7/A804 - Circulation Upper	6.00	lf			Included
09-Equipment By Owner (Refrigerator)				By Owner	
8/A804 - Book Drop Counter	21.00	lf			Included
09-Equipment By Owner (Other)				By Owner	
9/A804 - Computer Tech Counter	6.50	lf			Included
9/A804 - Computer Tech Base	6.00	lf			Included
9/A804 - Computer Tech Upper	12.50	lf			Included
09-Equipment By Owner (Other)				By Owner	
10/A804 - Copy Center Base	14.00	lf			Included
09-Equipment By Owner (Other)				By Owner	

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Description of Work	Total Qty	Unit	GMP Estimate	Notes
11/A804 - Copy Center Base	11.50	lf	Included	
09-Equipment By Owner (Other)			By Owner	
1a/A805 & 11/A820 Flat Panel Blk 6.17x4	21.00	lf	Included	
11/A820 3/4" Wood Trim 9" Wide	32.00	sf	Included	
11/A820 3/4" Plywood Veneer				
1b/A805 & 12/A820 Shelf	4.00	ea	Included	
Adult Reading Room Shelving	1.00	ea	Included	
3/A805 - Pamphlet Center	11.50	lf	Included	
2/A810 - Fiction Sell Check	1.00	ea	Included	
10/A810 - Book Drop			By Owner	
09-Equipment By Owner (Other)	11.50	lf	Included	
3/A810 - Adult Desk Sell Check	11.50	lf	Included	
4/A810 - Gallery Sell Check			By Owner	
09-Equipment By Owner (Other)				
06650 Resin Panel & Partition Systems				
Add Resin Panels & Partitions	1.00	ls	59,188	Sub to be Determined
Decorative Walls - Lower Level				
3-Form Wall @ Reading - True Radius (3'-7" Wide)				
RP-1 Aloe (5" Tall)	1.79	sf	Included	
RP-6 Deep End (6" Tall)	1.79	sf	Included	
RP-3 Lawn (12" Tall)	3.58	sf	Included	
RP-5 Bliss (12" Tall)	17.92	sf	Included	
RP-6 Deep End (12" Tall)	10.75	sf	Included	
RP-7 Lagoon (12" Tall)	14.33	sf	Included	
RP-5 Bliss (18" Tall)	26.88	sf	Included	
RP-6 Deep End (18" Tall)	5.37	sf	Included	
RP-7 Lagoon (18" Tall)	5.37	sf	Included	
RP-4 Bewitched (24" Tall)	7.17	sf	Included	
RP-5 Bliss (24" Tall)	7.17	sf	Included	
RP-6 Deep End (24" Tall)	14.33	sf	Included	
RP-7 Lagoon (24" Tall)	14.33	sf	Included	
RP-2 Sprout (30" Tall)	8.96	sf	Included	
RP-6 Deep End (36" Tall)	21.50	sf	Included	
RP-7 Lagoon (36" Tall)	10.75	sf	Included	
Pressure Fit Pole Assembly	9.00	ea	Included	
Clips	134.00	ea	Included	
Cutting	1.00	ls	Included	
Custom Fabrication - Radius	1.00	ls	Included	
Delivery of Materials from FOB Utah	1.00	ls	Included	
Other	1.00	ls	Included	
Install Labor	3,132.00	ls	Included	
3-Form Wall @ Youth Computer - True Radius (3'-6" Wide)				
RP-1 Aloe (5" Tall)	1.75	sf	Included	
RP-3 Lawn (6" Tall)	1.75	sf	Included	
RP-1 Aloe (12" Tall)	14.00	sf	Included	
RP-2 Sprout (12" Tall)	3.50	sf	Included	
RP-3 Lawn (12" Tall)	14.00	sf	Included	
RP-4 Bewitched (12" Tall)	3.50	sf	Included	
RP-1 Aloe (18" Tall)	5.25	sf	Included	
RP-2 Sprout (18" Tall)	5.25	sf	Included	
RP-3 Lawn (18" Tall)	5.25	sf	Included	
RP-4 Bewitched (18" Tall)	10.50	sf	Included	
RP-2 Sprout (24" Tall)	7.00	sf	Included	
RP-4 Bewitched (24" Tall)	14.00	sf	Included	
RP-2 Sprout (30" Tall)	8.75	sf	Included	
RP-2 Sprout (36" Tall)	21.00	sf	Included	
RP-4 Bewitched (36" Tall)	10.50	sf	Included	
Pressure Fit Pole Assembly	7.00	ea	Included	
Clips	98.00	ea	Included	
Cutting	1.00	ls	Included	
Custom Fabrication - Radius	1.00	ls	Included	
Delivery of Materials from FOB Utah	1.00	ls	Included	
Other	1.00	ls	Included	
Install Labor	3,132.00	ls	Included	
Glazing Resin Panels				
RP-2 Sprout(3' Square)	18.00	sf	Included	
RP-4 Bewitched (3' Square)	18.00	sf	Included	
RP-6 Deep End (3' Square)	54.00	sf	Included	
RP-8 Curry (3' Square)	18.00	sf	Included	
RP-9 Persimmon (3' Square)	18.00	sf	Included	
RP-2 Sprout (3' Wide by 6'-2" Tall)	18.51	sf	Included	
RP-4 Bewitched (3' Wide by 6'-2" Tall)	18.51	sf	Included	
RP-6 Deep End (3' Wide by 6'-2" Tall)	55.53	sf	Included	
RP-8 Curry (3' Wide by 6'-2" Tall)	18.51	sf	Included	
Cut Panels	1.00	ls	Included	
Freight	1.00	ls	Included	
Other	1.00	ls	Included	
Labor to Install Panels	237.06	sf	See Div 08	
<b>TOTAL WOOD, PLASTICS AND COMPOSITES</b>			<b>250,680</b>	

DIV 07 THERMAL AND MOISTURE PROTECTION

Waterproofing

None

Traffic Coating

None

Insulation

Sound Insulation

Bid Amount Insulation

3-5/8" Sound Insulation Batts

Excluded

Excluded

1.00

ls

2,717

Sub to be Determined



Description of Work	Total	Unlt	GMP		Notes
	Qty		Estimate		
Type A4 (3-5/8")	4,102.00	sf		Included	
Type A6 (6")	588.00	sf		Included	
Type F4 (3-5/8") Similar to A4 per Addendum #3	1,092.00	sf		Included	
Type P4 (3-5/8") Similar to A4 per Addendum #3	1,428.00	sf		Included	
Type P4 (3-5/8") Similar to A4 Above Glaze	552.00	sf		Included	
R-19 Unfaced					
At Ceilings per Typ Details	In Above			Included	
Southwest Reading Deck Water Fix					
Stucco					
Assumed Area of Repair	560.00	sf		5,600	
Waterproofing					
Assumed Area of Repair	56.00	sf		840	
Membrane Roofing					
None				Excluded	
Roof Hatches					
Roof hatch 3-0 x 3-0				Excluded	
Roof Patch					
Repair / Patch Roof	1.00	ls		5,500	
07920 Joint Sealants					
Joint Sealants					
Caulking	68,900.00	sf		12,500	
Fire Saffing					
Fire Safe @ Old Opening & As Required	1.00	ls		2,500	
FireProofing					
Spray-on Fireproofing				Excluded	
Intumescent Painting				Excluded	
<b>TOTAL THERMAL AND MOISTURE PROTECTION</b>				<b>29,657</b>	

DIV 08 OPENINGS

08111 Hollow Metal Doors & Frames					
08121 Aluminum Frames					
08141 Flush Wood Doors					
08710 Door Hardware					
Bid Amount Doors	1.00	ls		105,956	Sub to be Determined
Door Install	1.00	ls	Included		Sub to be Determined
Add for Assa Abloy - Match Existing	1.00	ls	Included		Sub to be Determined
Re-Work Frames / Hardware Due to New Doors	1.00	ls		2,000	Sub to be Determined
Frame 2031 & 2034 Can Not be AL. due to Double Egress	1.00	ls	Need RFI		Sub to be Determined
Doors, Frames and Hardware					
No Frame Doors					
Barn Doors	2.00	ea		See Below	
Pocket Doors	2.00	ea		See Below	
Hollow Metal Frames Type 1					
3070 Frame UnRated HM1	3.00	ea		Included	
3070 Frame UnRated HM2 w1'-8"x4'-6" SL	3.00	ea		Included	
3070 Frame UnRated HM3 w3'-8"x4'-6" SL	1.00	ea		Included	
3070 Frame Rated 20 Minutes HM1	1.00	ea		Included	
3070 Frame Rated 90 Minutes HM1	1.00	ea		Included	
3070 Frame Existing	4.00	ea	Existing		
Aluminum Frames Type 1					
3060 Frame	1.00	ea		Included	
3070 Frame	22.00	ea		Included	
3070 Frame - For Glass	1.00	ea		Included	
5070 Frame	3.00	ea		Included	
6070 Frame	3.00	ea		Included	
Aluminum Frames Door w/Glass On Side					
Type 2 w/3070 Door Frame & 3'-8"by4'-6" SL	1.00	ea		Included	
Type 3 w/6070 Door Frame & 2'-8"by7" Glass(2)	3.00	ea		Included	
Type 4 w/3070 Door Frame & 3'-8"by4'-6" Glass	2.00	ea		Included	
Type 5 w/3070 Door Frame & 1'-8"by7" Glass	2.00	ea		Included	
Type 6 w/3070 Door Frame & 7'-8"by7" Glass	1.00	ea		Included	
Type 7 w/3070 Door Frame & 15'-5"by7" Glass	1.00	ea		Included	
Type 8 w/6070 Door Frame & 2'-2"by7" Glass	1.00	ea		Included	
Aluminum Frames for Glass					
Type A	1.00	ea		Included	
Type B	3.00	ea		Included	
Type C	1.00	ea		Included	
Type D	-	ea	Not Used		
Type E	3.00	ea		Included	
Type F	2.00	ea		Included	
Type G	1.00	ea		Included	
Type H	1.00	ea		Included	
Type J	1.00	ea		See Glazing	
Type K	1.00	ea		See Glazing	
Set Frames					
Set Hollow Metal & Aluminum Frames	66.00	ea		2,750	
Solid Core Wood Doors - Type A					
2670 Wood Door Unrated	6.00	ea		Included	
3060 Wood Door Unrated	1.00	ea		Included	
3070 Wood Door Unrated	42.00	ea		Included	
3070 Wood Door Unrated (Existing)	4.00	ea		Included	
Wood Doors w/Vislon - Type B					
3060 Wood Door Unrated	8.00	ea		Included	
Wood Door Slider - Type C					
9'-8"by7'-2" Barn Door	2.00	ea		Included	
2'-2"by3'-2" Pocket Door	1.00	ea		Included	
3'-6"by3'-2" Pocket Door	1.00	ea		Included	
Hollow Metal Door - Type F					
3070 90 Minutes	1.00	ea		Included	

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Description of Work	Total		GMP		Notes
	Qty	Unit	Estimate		
3070 20 Minutes	1.00	ea		Included	
<b>Swing Doors</b>					
Install Doors, Hardware, Swing	63.00	ea		Included	
Install Doors, Hardware, Swing - Custom	4.00	ea		Included	
<b>Keyed Note Work</b>					
01-New Doors In Existing Frame	4.00	ea		Included	
02-Coordinate w/Existing Building Security	1.00	ea		Included	
03-Keypad Access w/Library	4.00	ea		See Below	
04-No Jamb or Latch at Mall front	1.00	ea		See Below	
05-Sliding Mall front Arcadia 2820 or Equal	1.00	ea		See Mall Front	
06-Pocketed Access Panel	2.00	ea		See Below	
07-Access Door	1.00	ea		NA	
08-New Entrance Doors In Existing Window Sys.	1.00	ea		See Glazing	
<b>Hardware For Doors</b>					
HG-01	14.00	ea		Included	
HG-02	3.00	ea		Included	
HG-03	-	ea	Excluded		
HG-04	3.00	ea		Included	
HG-05	4.00	ea		Included	
HG-06	1.00	ea		Included	
HG-07	2.00	ea		Included	
HG-08	4.00	ea		Included	
HG-09	1.00	ea		In Glass	
HG-10	7.00	ea		Included	
HG-11	-	ea	Excluded		
HG-12	1.00	ea		Included	
HG-13	2.00	ea		Included	
HG-14	2.00	ea		Included	
HG-15	2.00	ea		Included	
HG-16	9.00	ea		Included	
HG-17	-	ea	Excluded		
HG-18	1.00	ea		See Glass	
HG-19	2.00	ea		Included	
HG-20	1.00	ea		Included	
<b>Upgraded Hardware For Doors &amp; Key</b>					
Card Reader, Access, Etc.			Excluded		
Hardware - Final Key, Keys, Core, Etc.	71.00	ea	Excluded		
Hardware - Final Key, Keys, Core, Etc. Glass	2.00	ea	Excluded		
<b>Vision Panels</b>					
Type B Vision Panel Kits	8.00	ea		Included	
Type B Glazing	88.00	sf		1,760	
Type F Vision Panel Kits	2.00	ea		Included	
Type F Glazing	2.00	sf		40	
<b>Southwest Reading Deck Water Fix</b>					
Door Threshold	2.00	ea		700	
<b>Access Doors - 1' x 1'</b>					
Assumed Access Doors Installs - Doors By MEP Subs	10.00	ea		2,500	
<b>08321 Sliding Aluminum-Framed Glass Doors</b>					
<b>08412 All-Glass Entrances &amp; Storefronts</b>					
<b>08806 Glazing</b>	1.00	ls		33,770	Sub to be Determined
<b>Bid Amount Glazing</b>					
<b>Glazing Demolition</b>					
01-Modify Existing Glazing & AL Storefront 8/A501	50.00	ea		Included	
24-Remove Existing Storefront (New Doors) A501	11.00	ll		Included	
<b>Exterior Glazing System</b>					
<b>Upgrade Storefront A501</b>					
Aluminum Storefront Upgrade Door	103.18	sf		Included	
Add (2)-3070 AL Storefront Doors #2007-1	2.00	ea		Included	
Add Hardware HG-9	2.00	ea		Included	
2 Hinges SL24HD	In Above			Included	
1 Exit Device 9100 x CYL	In Above			Included	
1 Exit Device 9100	In Above			Included	
2 Pulls 1191-4	In Above			Included	
1 Closer 8916 X BP89	In Above			Included	
1 Automatic Opener ED800-110VAC	In Above			Included	
2 Switches FS1- Frame Mounted	In Above			Included	
2 Overhead Holders 1010SL	In Above			Included	
Threshold 425	In Above			Included	
2 Sweeps 675	In Above			Included	
2 Door Position Switches MC4	In Above			Included	
<b>Southwest Reading Deck Water Fix- A501</b>					
Repair Storefront System	541.52	sf		Included	
Modify Door assembly	2.00	ea		Included	
<b>Interior Aluminum Storefront System</b>					
<b>Doors</b>					
3090 Type G - All Glass #2044-2	1.00	ea		Included	
No Hardware - Hinges Only	1.00	ea		Included	
<b>Glazing</b>					
1/4" Safety Glazing w/Sealants @Stair per A304 - Wood Stops (No Frame)					
2/A304	6.51	sf		Included	
3/A304 - Left	2.17	sf		Included	
3/A304 - Center	6.51	sf		Included	
3/A304 - Right	2.17	sf		Included	
4/A304	6.51	sf		Included	
Tempered Glass on Setting Block w/Sealant					
3 & 4/A812 Castle	5.00	sf		Included	
<b>5/A602 - Glazing for Aluminum Frames Above - Tempered Where Code Requires</b>					
Type A	57.36	sf		Included	
Type B	116.16	sf		Included	
Type C	30.72	sf		Included	

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Type E	86.04	sf		Included	
Type F	38.72	sf		Included	
Type G	7.17	sf		Included	
Type H	31.50	sf		Included	
4/A602 - Glazing for Doors w/Glass - Tempered Where Code Requires					
Type 2	17.93	sf		Included	
Type 3	62.81	sf		Included	
Type 4	55.07	sf		Included	
Type 5	26.39	sf		Included	
Type 6	56.28	sf		Included	
Type 7	112.57	sf		Included	
Type 8	33.56	sf		Included	
2/A602 - Glazing for Doors w/Glass - Tempered Where Code Requires					
Type 2 Hollow Metal	25.78	sf		Included	
Type 3 Hollow Metal	17.93	sf		Included	
3/A602 Aluminum Type J & K - Glazing & Frames					
Type J Frame	501.65	sf		Included	
Type K Frame	205.00	sf		Included	
Type K Extension	10.05	sf		Included	
Glazing					
Type A - Clear Float Glass	420.00	sf		Included	
Type B - Tempered Float Glass	60.00	sf		Included	
Resin Panels					
RP-2 Sprout (3' Square)	18.00	sf		See Div 06	
RP-4 Bewitched (3' Square)	18.00	sf		See Div 06	
RP-6 Deep End (3' Square)	54.00	sf		See Div 06	
RP-8 Curry (3' Square)	18.00	sf		See Div 06	
RP-9 Persimmon (3' Square)	18.00	sf		See Div 06	
RP-2 Sprout (3' Wide by 6'-2" Tall)	18.51	sf		See Div 06	
RP-4 Bewitched (3' Wide by 6'-2" Tall)	18.51	sf		See Div 06	
RP-6 Deep End (3' Wide by 6'-2" Tall)	55.53	sf		See Div 06	
RP-8 Curry (3' Wide by 6'-2" Tall)	18.51	sf		See Div 06	
Cut Panels	1.00	ls		See Div 06	
Freight	1.00	ls		See Div 06	
Other	1.00	ls		See Div 06	
Labor to Install Panels	237.06	sf		Included	
Sliding Mull front similar to Arcadia 2820 #2044-3					
(3) 4'-11"x9'-0" Doors	132.84	sf		Included	
Add Hardware Set HG-18	1.00	ea		Included	
<b>TOTAL OPENINGS</b>				<b>149,476</b>	

DIV 09

FINISHES

Room Finish Schedule

Room Finish Notes

09221 Non-Structural Metal Framing

09271 Glass-Fiber-Reinforced Plaster (GFRP) Fabrications

09290 Gypsum Board

Bid Amount Gypsum

Misc Drywall Repair

Drywall Patching

Gypsum Wallboard

Walls

Studs at 16" O.C. U.N.O.

Infill Wall per KN 4 - Design #V446 @ Stair 4

Stud Wall at Stair - A303/A304

Stud Wall at Stair - Structural S103 - A303/A304

Stud Wall at Stair - Slopes 4' Tall Avg. - A303/A304

Stud Wall at Stair - Slopes 8' Tall Avg. A303/A304

Type A4 (3-5/8")

Type A6 (6")

Type C4 (3-5/8")

Type F2 (2-1/2")

Type F4 (3-5/8")

Type F4 (3-5/8") Similar to A4 per Addendum #3

Type F4 (3-5/8") 7' Average Height

Type F4 (3-5/8") @ Columns

Type P4 (3-5/8")

Type P4 (3-5/8") 7' Average Height

Type P4 (3-5/8") - Pony Wall 4' Tall

Type P4 (3-5/8") Similar to A4 per Addendum #3

Type P4 (3-5/8") Similar to A4 Above Glaze

U1 (Existing Studs)

U2 (Existing Studs)

U3 (3-5/8")

Extra Framing Due to Demo

Gypsum

Infill Wall per KN 4 - Design #V446 @ Stair 4

Stud Wall at Stair - A303/A304

Stud Wall at Stair - Structural S103 - A303/A304

Stud Wall at Stair - Slopes 4' Tall Avg. - A303/A304

Stud Wall at Stair - Slopes 8' Tall Avg. A303/A304

Type A4 (3-5/8")

Type A6 (6")

Type C4 (3-5/8")

Type F2 (2-1/2")

Type F4 (3-5/8")

Type F4 (3-5/8") Similar to A4 per Addendum #3

Type F4 (3-5/8") 7' Average Height

	1.00	ls	252,860	Sub to be Determined
	68,900.00	sf	16,500	Allowance
	56.00	sf		Included
	612.00	sf		Included
	272.00	sf		Included
	52.00	sf		Included
	104.00	sf		Included
	4,102.00	sf		Included
	588.00	sf		Included
	322.00	sf		Included
	275.00	sf		Included
	4,664.00	sf		Included
	1,092.00	sf		Included
	781.00	sf		Included
	1,144.00	sf		Included
	10,373.00	sf		Included
	497.00	sf		Included
	231.00	sf		Included
	1,428.00	sf		Included
	552.00	sf		Included
	1,287.00	sf	Existing	
	4,312.00	sf	Existing	
	918.00	sf		Included
	1.00	ls		Included
	112.00	sf		Included
	1,224.00	sf		Included
	544.00	sf		Included
	104.00	sf		Included
	208.00	sf		Included
	8,204.00	sf		Included
	1,176.00	sf		Included
	322.00	sf		Included
	275.00	sf		Included
	4,664.00	sf		Included
	1,092.00	sf		Included
	781.00	sf		Included

TEMPE PUBLIC LIBRARY RENOVATIONS  
 C.O.T. PROJECT # 6702491  
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 LOWER LEVEL BUILDING  
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Description of Work	Total		GMP		Notes
	Qty	Unit	Estimate		
Type F4 (3-5/8") @ Columns	1,144.00	sf		Included	
Type P4 (3-5/8")	20,746.00	sf		Included	
Type P4 (3-5/8") 7' Average Height	994.00	sf		Included	
Type P4 (3-5/8") - Pony Wall 4" Tall	462.00	sf		Included	
Type P4 (3-5/8") Similar to A4 per Addendum #3	2,856.00	sf		Included	
Type P4 (3-5/8") Similar to A4 Above Glaze	1,104.00	sf		Included	
U1 (Existing Studs)	1,287.00	sf	Existing		
U2 (Existing Studs)	4,312.00	sf	Existing		
U3 (3-5/8")	1,836.00	sf		Included	
Extra Framing Due to Demo	1.00	ls		Included	
<b>Drywall Upgrades</b>					
Gallery Cactus - A811	324.00	sf		Included	
Castle - A812 Ceiling	1,056.00	sf		Included	
Castle - A812 Walls	1,836.00	sf		Included	
Increase to Moisture Resistant	4,432.50	sf		Included	
Increase Corridor 1057 to Fire Rated Assembly	434.00	sf	Not Required		
Increase Height of Wall	93.00	sf	Not Required		
<b>Gyp Ceilings</b>					
<b>Framing</b>					
Soffits per 8/A501 18" Wide	78.00	sf		Included	
Soffits per 8/A501 Similar 18" Wide	531.00	sf		Included	
Soffits per 4/A303 @ Stair	208.00	sf		Included	
Soffit	3,698.00	sf		Included	
Soffit "Cloud"	2,662.00	sf		Included	
Soffit "Cloud" Varies - Ctr of Stair	525.00	sf		Included	
Soffit "Varies"	438.00	sf		Included	
Soffit @ Castle (Gyp Both)	264.00	sf		Included	
Form 24" Edge for Return (Gyp Both)	154.00	sf		Included	
Form 24" Edge for Return (Gyp One Side)	154.00	sf		Included	
Gyp 6" turn-Up 7/A303	685.00	sf		Included	
Form 18" Edge for Return	1,074.00	sf		Included	
Form 30" Edge for Return	957.50	sf		Included	
Form 42" Edge for Return	101.50	sf		Included	
Form 54" Edge for Return	459.00	sf		Included	
<b>Gypsum</b>					
Soffits per 8/A501 18" Wide	78.00	sf		Included	
Soffits per 8/A501 Similar 18" Wide	531.00	sf		Included	
Soffits per 4/A303 @ Stair	208.00	sf		Included	
Soffit	3,698.00	sf		Included	
Soffit "Cloud"	2,662.00	sf		Included	
Soffit "Cloud" Varies - Ctr of Stair	525.00	sf		Included	
Soffit "Varies"	438.00	sf		Included	
Soffit @ Castle (Gyp Both)	528.00	sf		Included	
Form 24" Edge for Return (Gyp Both)	308.00	sf		Included	
Form 24" Edge for Return (Gyp One Side)	154.00	sf		Included	
Gyp 6" turn-Up 7/A303	685.00	sf		Included	
Form 18" Edge for Return	1,074.00	sf		Included	
Form 30" Edge for Return	957.50	sf		Included	
Form 42" Edge for Return	101.50	sf		Included	
Form 54" Edge for Return	459.00	sf		Included	
<b>Glass Fiber Reinforcing</b>					
5" Dia by 4' High GFRG (Wack-a-Mole)	12.00	ea		Included	Included as Gyp
<b>Accessories</b>					
<b>Acoustical Sealant</b>					
Acoustical Sealant per Drawings	1.00	ls		Included	
<b>Corner Guards</b>					
Corner Guards	86.00	ea		6,450	
Labor to Corner Guards	43.00	hr		2,043	
<b>Art Rail</b>					
6' Sections @ Lower Level	6.00	ea		1,200	
6' Sections @ 1st Floor	26.00	ea		5,200	
6' Sections @ 1st Floor - Reuse Existing	6.00	ea		300	
Labor to Install Rails	1,900.00	ls		1,900	
<b>Southwest Reading Deck Water Fix</b>					
<b>Repair Structure</b>					
Metal Stud Framing Soffit	560.00	sf		3,640	
Exterior Gyp Board	560.00	sf		1,120	
<b>09511 Acoustical Panel Ceilings</b>					
<b>Bid Amount Ceilings</b>					
Revise ASC-3 to Standard Acoustical Tile - VE	1.00	ls		148,600	Sub to be Determined
Acoustic Ceiling Tile	1.00	ls		(6,500)	VE
<b>ACS-1 Armstrong Dune Second Look II</b>					
Lower Level	24,457.00	sf		Included	
Main Level	19,706.00	sf		Included	
<b>ACS-2 Armstrong Optima Open Plank</b>					
Lower Level	-	sf	None		
Main Level	5,253.00	sf		Included	
<b>ACS-3 Armstrong Dune Tegular</b>					
Lower Level	1,492.00	sf		Included	
Main Level	5,061.00	sf		Included	
<b>Accessories</b>					
Grid 9/16"	55,869.00	sf		Included	
6" C-Trim	527.00	lf		Included	
6" Knile Trim	368.00	lf		Included	
<b>Re-Install Wood Slat Ceilings</b>					
Main Level per KN 45 of Demo	818.00	sf		Included	
<b>Flooring</b>					
09640 Strip Bamboo Wood Flooring					
09650 Resilient Base					
09651 Resilient Tile Flooring					

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Description of Work	Total Qty	Unit	GMP Estimate	Notes
09581 Tile Carpeting				
Base Bid Flooring	1.00	ls	299,520	Sub to be Determined
Lower Level & 1st Adhesive Removal	1.00	ls	12,891	Sub to be Determined
Tile Bid	1.00	ls	33,113	Sub to be Determined
2nd Floor Per Addendum	1.00	ls	72,434	Sub to be Determined
2nd Floor Add Break & Acquisitions	1.00	ls	12,284	Sub to be Determined
2nd Floor Carpet & Adhesive Removal	1.00	ls	4,020	Sub to be Determined
Working Around Furniture on 2nd Floor Carpet	1.00	ls	8,500	Sub to be Determined
Lower Level				
CPT-1 Patcraft	850.97	sy	Included	
CPT-1 Patcraft @ Elevator	12.13	sy	Included	
CPT-3 Atlas	1,879.50	sy	Included	
CPT-4 Collins & Aikman	70.00	sy	Included	
CPT-5 Collins & Aikman	146.65	sy	Included	
CPT-6 Collins & Aikman	50.67	sy	Included	
CPT-7 Collins & Aikman	71.28	sy	Included	
CPT-8 Collins & Aikman	120.40	sy	Included	
CPT-9 Collins & Aikman	88.78	sy	Included	
CPT-10 Collins & Aikman	65.68	sy	Included	
CPT-11 Collins & Aikman	23.80	sy	Included	
CPT-12 Collins & Aikman	20.88	sy	Included	
CPT-13 Collins & Aikman	20.77	sy	Included	
CPT-14 Collins & Aikman	31.85	sy	Included	
CPT-15 Collins & Aikman	39.32	sy	Included	
CPT-16 Collins & Aikman	7.35	sy	Included	
CPT-17 Shaw	155.63	sy	Included	
CPT-18 Shaw	32.78	sy	Included	
CPT-19 Patcraft	23.45	sy	Included	
CPT-20 Interface	22.87	sy	Included	
Main Level				
CPT-1 Patcraft	1,095.38	sy	Included	
CPT-2 Patcraft	2,619.05	sy	Included	
CPT-WOM (Type Unknown - Ask Mfg and Style)	275.00	sf	Included	
2nd Floor				
CPT-1	2,364.25	sy	Included	
Resilient Tile Flooring				
RT-1	94.50	sf	Included	
VCT-01 - Lower Level	224.70	sf	Included	
VCT-01 - Main Level	367.50	sf	Included	
Wood Floor				
WD-1 Greenwood Bamboo	1,021.90	sf	Included	
Wood Base at Wood Floor	130.80	lf	Included	
Rubber Base				
4" Cove Base @ Lower Level	3,762.00	lf	Included	
4" Cove Base @ Upper Level	2,694.00	lf	Included	
4" Cove Base @ 2nd Floor	4,198.00	lf	Included	
Floor Preparation / Other				
Floor Prep, Moisture Testing, Moisture Treatments, Etc.	1.00	ls	10,000	Allowance
09300 Tiling				
Ceramic Tile @ New Bathrooms				
CT-1 Floor Tile	362.25	sf	Included	
CT-2 Wall Tile	480.00	sf	Included	
CTB-1 Base	117.00	lf	Included	
Ceramic Tile @ Existing Bathrooms (Lower & Main Level)				
CT-1 Floor Tile	1,268.40	sf	Included	
CT-2 Wall Tile	1,200.00	sf	Included	
CTB-1 Base	366.00	lf	Included	
Ceramic Tile @ Janitors 12&13/A801				
CT-3 Wall Tile	30.00	sf	Included	
Southwest Reading Deck Water Fix				
Repair Tile Next to New Trench Drain	112.00	sf	1,680	
09662 Resinous Matrix Terrazzo Flooring				
Base Bid Terrazzo	1.00	ls	50,865	Sub to be Determined
Terrazzo				
TZ-01	368.00	sf	Included	
TZ-02	440.00	sf	Included	
TZ-03	410.00	sf	Included	
TZ-04	521.00	sf	Included	
TZ-01 at Stair Landing	145.00	sf	Included	
TZ-01 at Tread w/Precast Tread	181.00	lf	Included	
Edge Material	131.00	lf	Included	
Joint Material	914.00	lf	Included	
Terrazzo Base	134.00	lf	Included	
09912 Interior Painting				
Bid Amount Painting	1.00	ls	60,129	Sub to be Determined
Paint Temporary Walls 400 LF	1.00	ls	1,400	Sub to be Determined
Stain Wood Trim - Misc.	1.00	ls	2,000	Sub to be Determined
Paint Steel Angle & Supports at Stair	1.00	ls	600	Sub to be Determined
Paint MDO "Escape"	1.00	ls	400	Sub to be Determined
Paint Ceilings				
Paint Exposed Structure	3,153.00	sf	Included	
Paint GFRG (Wack-a-Mole) & Trim	12.00	ea	Included	
Paint Ceilings & Soffits	12,407.00	sf	Included	
Paint Bathroom Ceilings	1,231.00	sf	Included	
Paint Walls				
Paint Walls - New	44,132.00	sf	Included	
Paint Walls - Existing	30,283.00	sf	Included	
IdeaPaint®	1.00	ls	Included	

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Description of Work	Total Qty	Unit	GMP Estimate	Notes
Paint Doors and Frames	17.00	ea	Included	
Paint Hollow Metal Door Frames		ea	Pre Finished	Pre Finished
Paint Aluminum Door Frames		ea	Pre Finished	Pre Finished
Stain Wood Doors		ea		
Misc Painting	1.00	ls	10,000	Allowance
Touchup Painting				
Southwest Reading Deck Water Fix	1,568.00	sf	1,019	
Paint Soffits				
Exposed Concrete Floors				
SC-1	198.00	sf	198	
<b>TOTAL FINISHES</b>			<b>1,014,365</b>	

DIV 10 SPECIALTIES				
10211 Toilet Compartments				
10280 Toilet Accessories				
10440 Fire Protection Specialties				
Bid Amount Accessories	1.00	ls	12,298	Sub to be Determined
Remove two Sanitary Dispensers from New Bathroom - VE	1.00	ls	(530)	VE
Toilet Accessories @ Lower Level New Bathrooms				
01 - 18" Grab Bar at HC Bathroom	2.00	ea	Included	
01 - 30" Grab Bar at HC Bathroom	2.00	ea	Included	
01 - 42" Grab Bar at HC Bathroom	2.00	ea	Included	
02 - Paper Towel Dispenser - No Touch By Owner	2.00	ea	By Owner	
03 - Toilet Paper Dispenser (Double)	4.00	ea	Included	
04 - Sanitary Napkin Disposal	3.00	ea	Included	
05 - Sanitary Napkin Vendor	3.00	ea	Included	
06 - 24x36 Framed Mirror	6.00	ea	Included	
07 - Coat Hook	4.00	ea	None	Not Shown
08 - Soap Dispenser - No Touch By Owner	4.00	ea	By Owner	
09 - Pipe Guard	6.00	ea		450
10 - Signage / Dimensional Character				None
12 - Baby Changing Station	2.00	ea	Included	
Toilet Compartment	31.00	lf	Included	
Toilet Compartment Door	4.00	ea	Included	
Urinal Screen	3.00	lf	Included	
Toilet Accessories @ Existing				
01 - 18" Grab Bar at HC Bathroom	4.00	ea	Re-Install Only	Re-Install Only
01 - 30" Grab Bar at HC Bathroom	4.00	ea	Re-Install Only	Re-Install Only
01 - 42" Grab Bar at HC Bathroom	4.00	ea	Re-Install Only	Re-Install Only
02 - Paper Towel Dispenser - No Touch By Owner	8.00	ea	By Owner	
03 - Toilet Paper Dispenser (Double)	14.00	ea	Re-Install Only	Re-Install Only
04 - Sanitary Napkin Disposal	8.00	ea	Re-Install Only	Re-Install Only
05 - Sanitary Napkin Vendor	4.00	ea	Existing	
06 - 18x36 Framed Mirror	6.00	ea	Included	
07 - Coat Hook	14.00	ea	None	Not Shown
08 - Soap Dispenser - No Touch By Owner	8.00	ea	By Owner	
09 - Pipe Guard	8.00	ea		600
10 - Signage / Dimensional Character			None	750
12 - Baby Changing Station	2.00	ea		Re-Install Only
10a-Salvage Existing Bath Partitions	140.00	lf		
Toilet Compartment	132.00	lf	Included	Re-Install Only
Toilet Compartment Door	14.00	ea	Included	Re-Install Only
Urinal Screen	12.00	lf	Included	Re-Install Only
Janitor Room				
Mop Holder with Sell	1.00	ea		350
Fire Specialties				
Re-Install Fire Extinguisher & Cabinet	13.00	ea		850
New Fire Extinguisher & Cabinet - Per Drawings	1.00	ea		350
New Fire Extinguisher & Cabinet - Now Shown	5.00	ea		1,750
Re-Certify Existing Extinguishers	13.00	ea		650
Budget for Damaged	1.00	ls		2,000
10140 Signage				
Bid Amount Signage	1.00	ls	26,907	Sub to be Determined
Decorative Signage A803				
Sign - "escApe"	6.00	ea	Included	
Sign - "dISCoVer"	8.00	ea	Included	
Sign - "eXpLoRe"	7.00	ea	Included	
Code Required Signage, Remainder by FF&E				
General Code Signage	1.00	ls	Included	
Sign - "TEMPE PUBLIC LIBRARY - NORTH ENTRANCE"	1.00	ls	Included	
Building Room Signage			By Owner	
Monument Signage			By Owner	
<b>TOTAL SPECIALTIES</b>			<b>46,425</b>	

DIV 11 EQUIPMENT				
11310 Residential Appliances			By Owner	
11521 Project Screens				
Bid Amount Screens	1.00	ls	12,694	Sub to be Determined
Project Screen / Display Type AV003				
Projection Screen Type A (45x80)		ea	Not Used	
Projection Screen Type B (52x92)	1.00	ea	Included	
Projection Screen Type C (65x116)	2.00	ea	Included	
Projection Screen Type D (78x139)	1.00	ea	Included	
Installation				Included
Appliances				
Refrigerator			By Owner	

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Description of Work	Total Qty	Unit	GMP Estimate	Notes
Microwave			By Owner	
Vending Equipment			By Owner	
Printers			By Owner	
Computers			By Owner	
All Other Equipment			By Owner	
<b>TOTAL EQUIPMENT</b>			12,694	
<b>DIV 12 FURNISHINGS</b>				
Allowance for Furniture, Signs, & Install / Move	1.00	ls	1,246,100	Allowance
<b>Furnishings</b>				
Desks			See Allowance	Allowance
Chairs			See Allowance	Allowance
Tables			See Allowance	Allowance
All Other Furnishings			See Allowance	Allowance
<b>Furnishings</b>				
Window Coverings			Excluded	
Entry Mats - Not Shown on Plans				
Entrance Mats			See Carpet	
<b>TOTAL FURNISHINGS</b>			1,246,100	
<b>DIV 13 SPECIAL CONSTRUCTION</b>				
None			None	
<b>TOTAL SPECIAL CONSTRUCTION</b>				
<b>DIV 14 CONVEYING SYSTEMS</b>				
Elevators				
None			None	
<b>TOTAL CONVEYING SYSTEMS</b>				
<b>DIV 21 FIRE SUPPRESSION</b>				
211313 Wet-Pipe Sprinkler Systems				
Bid Amount Fire Suppression	1.00		60,800	Sub to be Determined
Fire Protection System - Wet w/Semi-Recessed Heads				
Lower Level				
01 - Upright / Pendant Brass	866.00	sf	Included	
02 - Semi-Recessed White	26,119.00	sf	Included	
03 - Concealed White	2,465.00	sf	Included	
04 - Semi-Recessed White	1,398.00	sf	Included	
04a - Upright / Pendant Brass	1,324.00	sf	Included	
Upper Level				
02 - Semi-Recessed White	27,606.00	sf	Included	
03 - Concealed White	2,778.00	sf	Included	
04 - Semi-Recessed White	586.00	sf	Included	
04a - Upright / Pendant Brass	421.00	sf	Included	
05 - Concealed Type White	417.00	sf	Included	
06 - Concealed Type (Paint to Match)	2,368.00	sf	Included	
06a - Upright / Pendant Brass	1,436.00	sf	Included	
Other				
Unknown Budget for Concealed & Missing Information	67,784.00	sf	None	Allowance
Add FM200 System or Equal			Excluded	
Underground from Riser to 5' Out			Excluded	
Fire Buster Pump			Excluded	
SCBA System			Excluded	
<b>TOTAL FIRE SUPPRESSION</b>			80,800	
<b>DIV 22 PLUMBING</b>				
220500 Basic Plumbing Materials & Methods				
220514 Plumbing Specialties				
220515 Piping Specialties				
220523 Valves for Plumbing Piping				
220529 Hangers & Supports for Plumbing Piping & Equipment				
220700 Plumbing Insulation				
221100 Facility Water Distribution				
221300 Facility Sanitary Sewerage				
224200 Plumbing Fixtures				
Bid Amount Plumbing	1.00	ls	64,910	Sub to be Determined
Roof Drains				
Roof Drains w/Associated Piping			Excluded	
<b>Plumbing System</b>				
Upgrade of Plumbing at Lower Level	1.00	ls	Included	
Added Sink to 1st Floor	1.00	ls	Included	
Added Drinking Fountain Replacement	1.00	ls	Included	
Revise Two Bathrooms			Included	
Add Water Fountains			Included	
Added Lavatory Rep. to Lower Level Bath	1.00	ls	Included	
Added Lavatory Rep. to Main Level Bath	1.00	ls	Included	
Existing Bathroom Re-Install			Included	
Re-Install Urinals at Lower Level	4.00	ea	Included	
Re-Install Water Closets at Lower Level	7.00	ea	Included	
Re-Install Urinals at 1st Floor	4.00	ea	Included	
Re-Install Water Closets at 1st Floor	7.00	ea	Included	
Re-Install Drinking Fountain at 1st Floor	3.00	ea	Included	
Southwest Reading Deck Water Fix				
Added Trench Drain & Pipe	2.00	ea	Included	

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Description of Work	Total Qty	Unit	GMP Estimate	Notes
<b>TOTAL PLUMBING</b>			<b>64,910</b>	
<b>DIV 23 MECHANICAL</b>				
230130 HVAC Air Duct Cleaning				
230500 Basic HVAC Requirements				
230593 Testing, Adjusting, & Balancing for HVAC				
230700 HVAC Insulation				
230914 Electrical Instrumentation & Control Devices for HVAC				
230923 Direct Digital Control System for HVAC				
230993 Sequence of Operations for HVAC Controls				
231000 HVAC Ducts & Casings				
233300 Air Duct Accessories				
233400 HVAC Fans				
233600 Air Terminal Units				
233713 Diffusers, Registers, & Grilles				
Bid Amount Mechanical	1.00	Is	385,577	Sub to be Determined
Mechanical System				
HVAC Base Bid	1.00	Is	Included	
DDC Controls (per AZ Controls)	1.00	Is	Included	
Air Flow Monitoring Stations	1.00	Is	Included	
Software Interface between DDC & HVAC	1.00	Is	Included	
Demo of Ducts & VAV	1.00	Is	Included	
Haul-Off of Demo	1.00	Is	Included	
Core Drill for New Floor Penetrations	1.00	Is	Included	
X-Ray for New Floor Penetrations	1.00	Is	5,000	
Clean Existing Ductwork	1.00	Is	Excluded	
Temporary Vent During Construction	1.00	Is	15,000	
Test & Balance	1.00	Is	Included	
Access Doors as Required	1.00	Is	Included	
Unknown Budget for Concealed & Missing Information	1.00	Is	20,000	Allowance
<b>TOTAL MECHANICAL</b>			<b>425,577</b>	
<b>DIV 26 ELECTRICAL</b>				
260500 Basic Electrical Requirements				
260501 Minor Electrical Demolition & Alterations				
260519 Building Wire & Cable				
260529 Electrical Hangers & Supports				
260533 Raceway & Boxes				
260553 Electrical Identification				
260573 Sort Circuit/Coordination/Arch Flash Hazard Analysis Studies				
262416 Panel boards				
262726 Wiring Devices				
262813 Fuses				
262819 Enclosed Switches				
262826 Enclosed Transfer Switches				
262913 Enclosed Controllers				
265100 Interior Lighting				
270533 Raceways & Boxes for Communications Systems				
283100 Fire Alarm Systems				
Base Bid Electrical	1.00		721,931	Sub to be Determined
Budget for Unknowns and Missing Information	1.00		25,000	Allowance
Security Allowance			15,000	Allowance
Delete Smoke Duct Detectors at VAV Boxes - VE			(16,000)	VE
Basic Electrical System				
Lower Level Electrical	1.00	Is	Included	
Main Level Electrical	1.00	Is	Included	
Existing Restrooms at Lower Level & Main Level	1.00	Is	Included	
Fire Alarm Upgrades	1.00	Is	Included	
Power to New Opener in Addendum #3 HG9 Hardware	1.00	ea	Included	
Cable Trays	1.00	Is	Excluded	
Demo of Electrical & Salvage where Required			Included	
Haul-Off of Demo			Included	
Core Drill for New Floor Penetrations			Included	
X-Ray for New Floor Penetrations			Included	
AV Floor Boxes - Slab-On-Grade	7.00	ea	Included	
New Floor Boxes	17.00	ea	Included	
Used MC Cable			Included	
Used Existing Electrical Circuits			Included	
Lighting Fixtures & Salvage of Those for Re-Use			Included	
Supply / Conduit / Outlets / ETC.			Included	
Demo of Electrical			Included	
Temporary Electrical w/Light of OSHA			Included	
Keep Existing Low Voltage, AV, Etc In Operation			Included	
Audio / Video Conduits			Included	
Conduits & Raceways as Shown on DRWGS			Included	
Low Voltage				
Allowance for Cabling	1.00	Is	176,755	Allowance
Structure Cabling (Wire, fittings, etc).	1.00	Is	See Allowance	Allowance
Outlets, Covers, Etc.	1.00	Is	See Allowance	Allowance
Internet, CAT-6, Etc.	1.00	Is	See Allowance	Allowance
Audio / Video Equipment				
Allowance for AV Equipment	1.00	Is	128,150	Allowance
Projectors	4.00	ea	See Allowance	Allowance
Type 1 Fixed Flat Panel TV (22.7x40.2) w/Mounts	2.00	ea	See Allowance	Allowance

TEMPE PUBLIC LIBRARY RENOVATIONS  
 C.O.T. PROJECT # 6702491  
 Bid Set Dated 03-31-09  
 LOWER LEVEL BUILDING  
 May 4, 2009



Description of Work	Total Qty	Unit	GMP Estimate	Notes
Type 2 Fixed Flat Panel TV (27.1x46.9) w/Mounts	5.00	ea	See Allowance	Allowance
Type 3 Fixed Flat Panel TV (31.6x56.4) w/Mounts	6.00	ea	See Allowance	Allowance
Speakers, AV Equipment, ETC.	1.00	ls	See Allowance	Allowance
Short Cords / Surge Protectors	1.00	ls	See Allowance	Allowance
Security Monitoring System	1.00	ls	See Allowance	Allowance
Book Detection System & Monitors	1.00	ls	Excluded	
<b>TOTAL ELECTRICAL</b>			<b>1,050,836</b>	
<b>DIV 31 EARTHWORK</b>				
None			None	
<b>TOTAL EARTHWORK</b>				
<b>DIV 32 EXTERIOR</b>				
Landscape				
Shrub Removal Not Covered by Demo	1	ls	2,000	
Repair Landscape at New Entrance Allowance	1	ls	6,500	Allowance
<b>TOTAL EXTERIORS</b>			<b>8,500</b>	
<b>DIV 33 UTILITIES</b>				
None			None	None
<b>TOTAL UTILITIES</b>				
<b>PROJECT SUBTOTAL</b>			<b>5,709,874</b>	



**TEMPE PUBLIC LIBRARY RENOVATION**  
CITY OF TEMPE PROJECT NUMBER 6702491

**ASSUMPTIONS AND CLARIFICATIONS**  
GUARANTEED MAXIMUM PRICE DATED May 4, 2009

This document exists to give clear understanding of what is included and not included in the Guaranteed Maximum Price. (GMP) Information within this document either adds clarity or corrects items that are contained in other contract documents. This document supersedes any other contract documents pertaining to this project. Final acceptance of the GMP indicates approval by the design team and owner for all variations to the project specifications and drawings as noted below and in attached documents.

**LIST OF ATTACHMENTS TO ASSUMPTIONS AND CLARIFICATIONS DOCUMENT**

- A. 1 page Guaranteed Maximum Price (GMP) Summary
- B. 2 pages 2<sup>nd</sup> Floor carpet and base drawings (A2.10 and A2.11 As-builts)
- C. 12 pages Staging plan
- D. 1 page Milestone schedule
- E. 7 pages Door Hardware Schedule (section 08710)
- F. 17 pages Addendum 01 Bid Drawing Clarifications

**CONTRACT DOCUMENTS INCLUDED IN GMP**

1. The GMP is based, in part, on the following Construction Documents as provided by Engberg Anderson, Inc. Modifications, exceptions to and clarifications of these Construction Documents follow:

**Addenda:**

- 01 Bid Drawing Clarifications dated May 1, 2009 (17 pages).

**Specification Documents dated March 31, 2009:**

**Division 1 General Requirements:**

01100	Summary	01420	References
01250	Substitution Procedures	01500	Temporary Facilities & Controls
01260	Contract Modification Procedures	01600	Product Requirements
01290	Payment Procedures	01770	Closeout Procedures
01330	Submittal Procedures	01782	Operation & maintenance Data
01400	Quality Requirements	01783	Project Record Documents

**Division 2 Demolition:**

- 02411 Selective Structure Demolition

**Division 3 Concrete:**

- 033100 Structural Concrete

**Division 5 Metals:**

- 05400 Cold-Formed Metal Framing
- 05730 Decorative Metal Railings

05731 Smoke Baffle System

Division 6 Wood & Plastics:

06100 Rough Carpentry  
06402 Interior Architectural Woodwork

06650 Resin Panel & Partition Systems

Division 7 Thermal & Moisture Protection:

07920 Joint Sealants

Division 8 Doors & Windows:

08111 Hollow Metal Doors & Frames  
08121 Aluminum Frames  
08141 Flush Wood Doors  
08321 Sliding Aluminum-Framed Glass Doors

08412 All-Glass Entrances & Storefronts  
08710 Door Hardware  
08800 Glazing

Division 9 Finishes:

09221 Non-Structural Metal Framing  
09271 Glass-Fiber-Reinforced Plaster  
(GFRP) Fabrications  
09290 Gypsum Board  
09300 Tiling  
09511 Acoustical Panel Ceilings  
09640 Strip Bamboo Wood Flooring

09650 Resilient Base  
09651 Resilient Tile Flooring  
09662 Resinous Matrix Terrazzo Flooring  
09681 Tile Carpeting  
09771 Fabric-Wrapped Panels  
09912 Interior Painting

Division 10 Specialties:

10140 Signage  
10211 Toilet Compartments

10280 Toilet Accessories  
10441 Fire Protection Specialties

Division 11 Equipment:

11310 Residential Appliances

11521 Projection Screens

Room Finish Schedule & Notes:

Room Finish Schedule

Room Finish Notes

Division 21 Fire Suppression:

211313 Wet-Pipe Sprinkler Systems

Division 22 Plumbing:

220500 Basic Plumbing Materials & Methods  
220514 Plumbing Specialties  
220515 Piping Specialties  
220523 Valves for Plumbing Piping  
220529 Hangers & Support for Plumbing Piping  
& Equipment

220700 Plumbing Insulation  
221100 Facility Water Distribution  
221300 Facility Sanitary Sewerage  
224200 Plumbing Fixtures

Division 23 HVAC:

230130 HVAC Air Duct Cleaning  
230500 Basic HVAC Requirements  
230593 Testing, Adjusting, & Balancing for  
HVAC  
230700 HVAC Insulation  
230914 Electrical Instrumentation & Control  
Devices for HVAC

230923 Direct Digital Control System for HVAC  
230993 Sequence of Operations for HVAC Controls  
231000 HVAC Ducts & Casings  
233300 Air Duct Accessories  
233400 HVAC Fans  
233600 Air Terminal Units  
233713 Diffusers, Registers, & Grills

Division 23 Electrical:

260500 Basic Electrical Requirements  
260501 Minor Electrical Demolition &  
Alterations  
260519 Building Wire & Cable  
260529 Electrical hangers & Supports  
260533 Raceway & Boxes  
260553 Electrical Identification

260573 Short Circuit / Coordination / Arc Flash  
Hazard Analysis Studies  
262416 Panelboards  
262726 Wiring Devices  
262813 Fuses  
262819 Enclosed Switches  
262826 Enclosed Transfer Switches

262913 Enclosed Controllers

265100 Interior Lighting

Division 27 Communications:

270533 Raceways & Boxes for Communication Systems

Division 28 Electronic Safety & Security:

283100 Fire Alarm System

Plan Sheets:

Architectural Documents

Sheet	Sealed	Rev No.	Date	Sheet	Sealed	Rev No.	Date
T	-	-	-	T100	03/31/09	01	03/31/09
T101	03/31/09	01	03/31/09	T102	03/31/09	01	03/31/09
D101	03/31/09	01	03/31/09	D101a	03/31/09	01	03/31/09
D101b	03/31/09	01	03/31/09	D101c	03/31/09	01	03/31/09
D102	03/31/09	01	03/31/09	D102a	03/31/09	01	03/31/09
D102b	03/31/09	01	03/31/09	D102c	03/31/09	01	03/31/09
A101	03/31/09	01	03/31/09	A101a	03/31/09	01	03/31/09
A101b	03/31/09	01	03/31/09	A101c	03/31/09	01	03/31/09
A102	03/31/03	01	03/31/09	A102a	03/31/09	01	03/31/09
A102b	03/31/09	01	03/31/09	A102c	03/31/09	01	03/31/09
A201	03/31/09	01	03/31/09	A201a	03/31/09	01	03/31/09
A201b	03/31/09	01	03/31/09	A201c	03/31/09	01	03/31/09
A202	03/31/09	01	03/31/09	A202a	03/31/09	01	03/31/09
A202b	03/31/09	01	03/31/09	A202c	03/31/09	01	03/31/09
A303	03/31/09	01	03/31/09	A304	03/31/09	01	03/31/09
A501	03/31/09	01	03/31/09	A602	03/31/09	01	03/31/09
A603	03/31/09	01	03/31/09	A701	03/31/09	01	03/31/09
A702	03/31/09	01	03/31/09	A711	03/31/09	01	03/31/09
A771a	03/31/09	01	03/31/09	A711b	03/31/09	01	03/31/09
A711c	03/31/09	01	03/31/09	A712	03/31/09	01	03/31/09
A712a	03/31/09	01	03/31/09	A712b	03/31/09	01	03/31/09
A801	03/31/09	01	03/31/09	A802	03/31/09	01	03/31/09
A803	03/31/09	01	03/31/09	A804	03/31/09	01	03/31/09
A805	03/31/09	01	03/31/09	A810	03/31/09	01	03/31/09
A811	03/31/09	01	03/31/09	A812	03/31/09	01	03/31/09
A813	03/31/09	01	03/31/09	A820	03/31/09	01	03/31/09

Structural Documents

Sheet	Sealed	Rev No.	Date	Sheet	Sealed	Rev No.	Date
S100	03/31/09	-	-	SD101	03/31/09	-	-
S101	03/31/09	-	-	S102	03/31/09	-	-
S103	03/31/09	-	-	S104	03/31/09	-	-

Plumbing Documents

Sheet	Sealed	Rev No.	Date	Sheet	Sealed	Rev No.	Date
P100	03/31/09	01	03/31/09	PD101	03/31/09	01	03/31/09
PD102	03/31/09	01	03/31/09	P201	03/31/09	01	03/31/09
P202	03/31/09	01	03/31/09	P500	03/31/09	01	03/31/09

Fire Protection Documents

Sheet	Sealed	Rev No.	Date	Sheet	Sealed	Rev No.	Date
FP201a	-	01	03/31/09	FP201b	-	01	03/31/09
FP201c	-	01	03/31/09	FP202a	-	01	03/31/09
FP202b	-	01	03/31/09	FP202c	-	01	03/31/09
FP203b	-	01	03/31/09				

Mechanical Documents

Sheet	Sealed	Rev No.	Date	Sheet	Sealed	Rev No.	Date
M100	03/31/09	01	03/31/09	M101	03/31/09	01	03/31/09
M101a	03/31/09	01	03/31/09	M101b	03/31/09	01	03/31/09
M101c	03/31/09	01	03/31/09	M102	03/31/09	01	03/31/09
M102a	03/31/09	01	03/31/09	M102b	03/31/09	01	03/31/09
M102c	03/31/09	01	03/31/09	M103	03/31/09	01	03/31/09
M103a	03/31/09	01	03/31/09	M201	03/31/09	01	03/31/09
M201a	03/31/09	01	03/31/09	M201b	03/31/09	01	03/31/09
M201c	03/31/09	01	03/31/09	M202	03/31/09	01	03/31/09
M202a	03/31/09	01	03/31/09	M202b	03/31/09	01	03/31/09
M202c	03/31/09	01	03/31/09	M203	03/31/09	01	03/31/09
M203a	03/31/09	01	03/31/09	M401	03/31/09	01	03/31/09
M402	03/31/09	01	03/31/09	M601	03/31/09	01	03/31/09

Electrical Documents

Sheet	Sealed	Rev No.	Date	Sheet	Sealed	Rev No.	Date
E100	03/31/09	01	03/31/09	E101a	03/31/09	01	03/31/09
E101b	03/31/09	01	03/31/09	E101c	03/31/09	01	03/31/09
E102a	03/31/09	01	03/31/09	E102b	03/31/09	01	03/31/09
E102c	03/31/09	01	03/31/09	E103b	03/31/09	01	03/31/09
E201a	03/31/09	01	03/31/09	E201b	03/31/09	01	03/31/09
E201c	03/31/09	01	03/31/09	E202a	03/31/09	01	03/31/09
E202b	03/31/09	01	03/31/09	E202c	03/31/09	01	03/31/09
E203b	03/31/09	01	03/31/09	E301a	03/31/09	01	03/31/09
E301b	03/31/09	01	03/31/09	E301c	03/31/09	01	03/31/09
E302a	03/31/09	01	03/31/09	E302b	03/31/09	01	03/31/09
E302c	03/31/09	01	03/31/09	E303b	03/31/09	01	03/31/09
E401	03/31/09	01	03/31/09	E501	03/31/09	01	03/31/09
E601	03/31/09	01	03/31/09	E602	03/31/09	01	03/31/09
E603	03/31/09	01	03/31/09	E604	03/31/09	01	03/31/09
E605	03/31/09	01	03/31/09	E606	03/31/09	01	03/31/09

Audiovisual Documents

Sheet	Sealed	Rev No.	Date	Sheet	Sealed	Rev No.	Date
AV001	-	01	03/31/09	AV002	-	01	03/31/09
AV003	-	01	03/31/09	AV101a	-	01	03/31/09
AV101b	-	01	03/31/09	AV102a	-	01	03/31/09
AV102b	-	01	03/31/09	AV201a	-	01	03/31/09
AV201b	-	01	03/31/09	AV202a	-	01	03/31/09
AV202b	-	01	03/31/09	AV301a	-	01	03/31/09
AV301b	-	01	03/31/09	AV302a	-	01	03/31/09
AV302b	-	01	03/31/09	AV501	-	01	03/31/09
AV601	-	01	03/31/09	AV602	-	01	03/31/09
AV603	-	01	03/31/09	AV801	-	01	03/31/09
AV802	-	01	03/31/09				

GENERAL CONDITIONS AND OVERALL PROJECT MANAGEMENT

General

1. This Guaranteed Maximum Price is submitted as a total package and is not to be constructed as a line item GMP. As savings and losses will be reconciled and transferred to the contractor's allowance and returned at the end of the project as provided in the Contract Agreement.
2. Project construction duration is 382 calendar days from Notice to Proceed to Final Completion.
3. The warranty period will be for a standard one year warranty.

4. It is understood that the Value Engineering process has modified the project plans and specifications. Items whose deductive values have been included in the Value Engineering Summary and / or itemized within the Estimate Recap summary are accepted by the Owner and the Design Team. Later decision to rescind this acceptance will require additional compensation to the Contractor. If materials or work affected by the VE process have been ordered, received or installed prior to rescinding VE approval, additional compensation in excess of the original VE amount may be required.
5. General Liability Insurance is included in the GMP. (0.72% of GMP)
6. Builder's Risk Insurance coverage is included in the GMP. (0.30% of GMP)
7. CM at Risk Fee is included in GMP. (5%)
8. Gross Receipts Tax is included as a percentage of the GMP. (5.60% State, 0.7% County, 1.8% City, multiplied by 65% to factor for construction) In the event tax rates are increased and the project is responsible for them, an increase in the GMP will be required to cover the costs.
9. Okland Construction will provide a Performance Bond and a Labor & Materials Bond. (0.60%) Subcontractor bonding is not required included in the GMP
10. This GMP does not include the CM-At-Risk Pre-construction Services Agreement cost. (\$87,920.00)
11. All Okland personnel costs have been included in this GMP.
  - A. Weekly rates include all taxes and labor burden and are based on a standard 40 hour week. No Okland Management overtime costs will be billed to the project. Whether or not stationed on site, Management costs will be billed only for actual time worked on this project.
  - B. Hourly rates include all taxes and labor burden. Overtime of Okland Labor will be billed on an hourly basis.
  - C. Rate listing:

OKLAND MANAGEMENT	WEEKLY RATE
Project Director	\$ 3,750.00
Project Manager	\$ 3,050.00
Project Engineer	\$ 2,400.00
Project Superintendent	\$ 3,100.00
Assistant Superintendent	\$ 2,700.00
Project Scheduler	\$ 2,800.00
Safety Coordinator	\$ 2,680.00
Project Accountant	\$ 2,000.00

OKLAND LABOR	HOURLY RATE	OT HOURLY RATE
Laborer	\$ 24.50	\$ 34.30
Laborer Foreman	\$ 32.50	\$ 45.50
Apprentice Carpenter	\$ 30.50	\$ 42.70
Journeyman Carpenter	\$ 37.50	\$ 52.50

#### General Requirements

1. The plans, specifications and general notes are modified by the documents included in the GMP. Any reference to dates, cost of work, contractual methodologies, etc are to be governed first by the GMP and owner contract, and then the specifications published by Engberg Anderson.
2. No provisions have been included in the GMP for any delays related to the discovery of archeological or unforeseen items.
3. The following items are to be provided by the owner for the project and are not within the budget or scope of the contractor. Okland Construction will provide rough-ins for owner-furnished equipment in the locations provided on the project plans. Okland Construction will not be responsible for shop drawing review, approval or otherwise determining the adequacy or applicability of owner-furnished equipment or the accuracy of rough-in servicing such equipment.
  - A. Public Art
  - B. Permit Costs
  - C. Security, gates, book security detection, etc.
  - D. Architectural Fees
  - E. Special Inspection, material testing, & third party inspections
  - F. Environmental and asbestos survey and removal as required

- G. Equipment including but not limited to refrigerators, microwaves, coin machines, copy machines, computers, vending machines, phones, fax machines, etc.
  - H. Soap dispensers, paper towel dispensers, hand dryers, etc.
4. All work shown on the 2<sup>nd</sup> floor of the building (noted 3xxx on drawings and offices) is excluded. However, new carpet has been included on the 2<sup>nd</sup> floor. (see attachment for locations of carpet)

**Permits/ Fees and Code Review:**

1. The GMP proposed by Okland Construction does not include the cost of any construction permits or fees nor delays resulting from the timely acquisition thereof.
2. The project, as designed, is assumed to comply with all applicable code requirements. Okland Construction has not performed a code review analysis nor does Okland Construction assert any warranty that the design complies with applicable codes.
3. Rated assemblies are included only to the extent as shown on the plans.
4. City permit review comments that result in more than \$20,000 in additional costs will require an adjustment to the GMP. No permits or fees for plant salvage operations or site disturbance are included in the GMP.
5. No development fees, utility surcharges, connection fees or other utility infrastructure costs are included.

**Temporary Facilities, & Utilities:**

1. Temporary barrier fencing will be erected as required to secure the construction staging area only.
2. Security service is not included. The City of Tempe (COT) agrees that the risk of stolen library materials did not merit the cost of hiring full time security.
3. Dust control and SWPP permits are excluded from the GMP. (not required)
4. Temporary toilets will be provided under the GMP. Construction crews will be directed to use these facilities in lieu of the public restrooms.
5. It is anticipated that the loading dock and the freight elevator will be available for use during construction.

**Staging & Schedule:**

1. Building sequencing and site staging will be per attached site staging drawings (See Attachment Staging plans 12 Pages). Per staging the Lower Level will be one phase and the Main Level (1<sup>st</sup> Floor) will be five stages. Stair #7 will be part of Lower Level sequence and some of the area of the Main Level will be blocked-off during construction. Off-site staging area will be allowed per site staging plans to adequately stock-pile materials and construction debris on-site during construction.
2. Noise will be created during the construction process and Okland will do everything to keep noise to a minimum during building operations. Extremely noisy activities will be reserved for hours the library is not open to the public. However, users must acknowledge during the construction process the noise levels will be elevated.
3. Temporary barrier walls will be erected on the inside of the building to keep construction areas isolated from public areas.
4. See attached construction schedule

**Allowances (Also Listed in each Specification Section):**

1. Specific allowances are included in the GMP for work requirements not yet determined or which are difficult to quantify at this time. Allowances include the following:
  - A. List of allowances and amounts.
    1. \$3,500 Miscellaneous Engineering Due to New Opening in Existing Walls
    2. \$16,500 Patching of Drywall & Framing Due to Demolition.
    3. \$10,000 Floor Prep, Moisture Testing, Moisture Treatments, etc.
    4. \$10,000 Touch-Up Painting
    5. \$1,246,100 Library Furniture (including install and coordination), Signs, Install, Moving, Storage, etc.
    6. \$20,000 Fire Suppression Unknown & Missing information.
    7. \$20,000 Mechanical System Unknown & Missing Information.
    8. \$25,000 Electrical System Unknown & Missing Information
    9. \$15,000 Security Cameras & DVR to Record.
    10. \$176,755 Cabling (low voltage)
    11. \$128,150 Audio / Video Equipment & Associated Cables
    12. \$6,500 Landscape and Other Site Repairs due to new entrance.
    13. \$20,000 City permit review comments

2. Mark up and fee is included in the GMP for all allowances. No mark-up will be added at the time of allowance use provided the actual costs are within the GMP value. In the event that actual costs exceed allowance values, markup will be added to subsequent change orders in the amount of the overage. Similarly, in the event that allowances are under the GMP allowance value, markup will be returned to the owner with the deductive change order.

#### Value Engineering Summary:

The following items have been incorporated into our proposal per the value engineering process. All value engineering has been reviewed and approved by the Design Team and the Owner.

1. All work of the 2<sup>nd</sup> Floor (3xxx) is excluded except for an allowance of carpet & base.
2. Revised the thickness of the glass handrail from ¾" to ½" inch thick (Reference A303 & A304).
3. Allow the smoke baffle system to be fabricated by handrail fabricator (Reference 05730).
4. Remove the requirement for AWI certification of cabinets form specifications (Reference 06402).
5. Revise ACS-3 from specified to standard 2x4 square edge tile ("Cortega" or Equal).
6. Provide only one sanitary napkin vendor (Toilet Room Accessories Note #5) in Girls 1016 (shows three). The location of vendor will be moved to common location.
7. Smoke duct detectors will not be required at any VAV boxes (new or old).

## DIVISION 2 BUILDING DEMOLITION

### Demolition

1. The following assumptions and clarifications pertain to the Demolition portion of the project:
  - A. Demolition is per contract documents.
  - B. Bid does not include asbestos survey or asbestos abatement.
  - C. Bid does not include hazardous material / regulated materials identification, handling or removal.
  - D. It is understood that owner will provide document that building is clean of hazardous materials (example asbestos).
    1. Per Specifications Item D of 02411-3 "Hazardous Materials: It is not expected that hazardous materials will be encountered in the Work".
    2. Per subpart 1 "Hazardous materials will be removed by Owner before start of Work".
  - E. Materials may be stored on-site for adequate time to get removed from site due to off-hour operations and sequencing of operations. Materials will be stored in fenced in construction lay-down yard.
  - F. Unless noted otherwise on the drawings all items demolished are the property of the demolition contractor.
  - G. For items to be turned over to owner for salvage and not re-used on this project Okland and Subcontractors will turn items over to the owner on-site and others will be responsible for hauling to off-site locations.
  - H. Demolition debris will be hauled offsite and disposed of in an appropriate and legal manner.
  - I. An Allowance of \$3,500 has been included for miscellaneous engineering of new openings in existing walls.

## DIVISION 3 CONCRETE

### Concrete

1. Concrete work will be limited to the areas as shown on the drawings and specifically shown as new.
2. No patchwork of existing sitework is included in GMP.

## DIVISION 4 MASONRY

### Masonry

1. No Masonry or Stone Work is included in this GMP.

## DIVISION 5 METALS

### Misc Steel & Railings

1. The Handrail will be ½" tempered glass with painted steel supports (mill finish) and stainless steel hand rail (VE). The supports are not stainless steel per addendum.
2. Colored/pattern interlayer of glazing at handrail is not included in this proposal.
3. The smoke baffle system will be manufactured by handrail supplier and not one of specified manufactures (VE).

## DIVISION 6 WOOD & PLASTICS

### Rough Carpentry & Cabinets

1. The AWI quality assurance per 06402-2 1.4 and other parts of the specifications is not included in this proposal per Value Engineering (VE).

## DIVISION 7 THERMAL AND MOISTURE PROTECTION

### Thermal and Moisture Protection

1. No fireproofing is included in the GMP
2. No intumescent paint is included in the GMP.
3. The only waterproofing included in this GMP is that required for balcony repairs.

## DIVISION 8 DOORS & WINDOWS

### Doors, Frames and Hardware

1. Frames at 2031 & 2034 due to dual swing will either need to be changed into hollow metal frames in order to accommodate dual swings.
2. Hardware has been revised per package as designed per Assa Abloy (See Attached specifications).
3. The following hardware sets were not used HG-03, HG-11, and HG-17.
4. Card readers and other security devices are not included.
5. Keying and or re-keying of hardware is not included in this GMP.

## DIVISION 9 FINISHES

### Gypsum & Metal Studs

1. In-lieu of GFRP per specifications they will be GFRG (Glass Fiber Reinforced Gypsum).
2. An Allowance of \$16,500 is included for patching and repair of existing drywall and framing.
3. All art rail locations on the plans showing 7'-0" lengths are only included as 6'-0" (per manufacture model is only for 6'-0" length).
4. The corner guards can be "or equal" and doesn't have to be per specified supplier.

### Acoustical Ceilings

1. ACS-3 had been revised to standard 2x4 square edge tile ("Cortega" or Equal") by VE process.
2. Seismic wires and uplift braces are not included.

### Flooring (Carpet, Tile, Wood Floor, & Terrazzo)

1. An Allowance of \$10,000 is include for floor prep, moisture testing, moisture treatment and other preparation work required for new floor installation.
2. The existing entrance mat will be replace, However existing pedestals will be re-installed.
3. At the 2<sup>nd</sup> Floor (3xxx) CPT-1 & RB-1 is included per an allowance as stated below and per attachment (2 Pages dated May 4, 2009 {A2.10 & A2.11} of "As-Builds" by Franzoy-Corey):

### Painting

1. An Allowance of \$10,000 is included for Touch-up painting.

## DIVISION 10 SPECIALTIES

### Misc Specialties

1. The following assumptions and clarifications pertain to the Misc Specialties portion of the project.
  - A. Only one sanitary napkin vendor (Toilet Room Accessories Note #5) in Girls 1016 is included (two deleted by VE).

## Signage

1. The following signage is included:
  - A. 1 EA "ESCAPE" sign per sheet A803 detail 8.
  - B. 1 EA "DISCOVER" sign per sheet A803 detail 9.
  - C. 1 EA "Explore" sign per sheet A803 detail 10.
  - D. 1 EA Library Sign per A501 detail 2 & 2A.
  - E. 12 EA 8"x8" ADA photopolymer stairwell identification signage.
  - F. 5 EA 8"x8" ADA photopolymer elevator identification signage.
  - G. 6 EA 8"x8" ADA photopolymer restroom identification signage.
  - H. 6 EA 6"x6" ADA photopolymer "Misc" room identification signage.
  - I. 17 EA 8 ½" x 14" evacuation map signage sleeves. (maps by others)
2. All room signage, direction signage, etc is included in Allowance for Furniture in Division 12.

## DIVISION 11 EQUIPMENT

### Equipment

1. Five (5) motorized projector screens as shown on the AV drawings are included outside the AV / Equipment Allowance.
2. All appliances including under counter fridges and residential appliances per 11310 are not included.
3. See AV / Equipment Allowance in Division 26 for additional equipment allowance.

## ROOM FINISH SCHEDULE & NOTES

### Room Finish Schedule

1. Men's Toilet 2015 and Women's Toilet 2016 were used to finish Men's Toilet 1023 and Women's Toilet 1024 since not shown. All toilets same finish.

## DIVISION 12 FURNISHINGS

### Equipment

1. An Allowance for \$1,246,100 is included for library furniture, signs, installation, moving of existing shelving, repair, storage, coordination, etc.

## DIVISION 21 FIRE SUPPRESSION

### Fire Suppression

1. An Allowance for \$20,000 is included for unknown conditions, items not shown on the drawings, repair due to construction, overtime, etc.
2. Work is only included as shown on the drawings, no work is included for the 2<sup>nd</sup> Floor (3xxx), areas outside the construction areas, or stair shafts.
3. Proposal does not include extended coverage heads.
4. Hydraulic calculations will be provided by others.
5. No work is included for moving mains and laterals (assumes current locations will work in new construction, now work is included for moving mains or laterals due to new construction items such as MEP or other above ceiling items or ascetic aspects).
6. Based on existing system will handle all new loads and that static pressure is sufficient for new head layout (NFPA #13).
7. Based on existing mains and laterals are of sufficient size for new layouts.
8. The FM200 or other dry systems are not included.
9. Fire buster pump, SCBA, and Fire Riser are not included.

## DIVISION 22 PLUMBING

### Plumbing

1. The existing water closets, urinals, and other fixtures not called out to be replaced will be re-used at existing restrooms 1023, 1024, 2015 and 2016.

## DIVISION 23 HVAC

### Mechanical

1. This GMP includes test / balance of new and existing systems.
2. An Allowance for \$20,000 is included for unknown conditions, items not shown on the drawings, repair due to construction, overtime, etc.

## DIVISION 26 ELECTRICAL

### Electrical

1. Costs of transformer, SES, conduits for aforementioned are not included (existing).
2. MC Cable can be used where allowed by code.
3. UPS system is not included.
4. Exterior lighting is not included.
5. Book detection is not included.
6. An Allowance for \$15,000 is included for security camera, wire, recording device, etc.
7. An Allowance for \$25,000 is included for unknown conditions, items not shown on the drawings, repair due to construction, overtime, etc.

### IT Cabling

1. An Allowance for \$176,755 is included for all low voltage cabling including but not limited to wire, fittings, covers, CAT-6, etc.

### Audio / Video Equipment

1. An Allowance for \$128,150 is include for Audio / Video Equipment including but not limited to projectors, flat panel TV's, speaker, podiums, power poles, etc.

## DIVISION 27 COMMUNICATIONS

### Raceways & Boxes for Communication Systems

1. Conduits are included for low voltage cabling as shown on the Electrical Drawings. Conduits and boxes are not included for paging system or other items not shown on drawings.
2. Cable trays are not included.

## DIVISION 28 ELECTRONIC SAFETY AND SECURITY

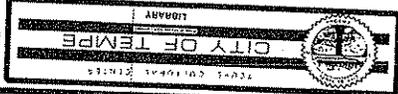
### Fire Alarm System

1. Smoke duct detectors were not provided in the VAV boxes of the mechanical system (VE).

## DIVISION 32 EXTERIOR

### Landscape (No Specifications)

1. An Allowance of \$6,500 has been included to repair sprinklers, fix adjacent work, or provide new plantings to the new Entrance.



NO.	DATE	REVISION
1	05/04/09	ISSUED FOR PERMIT
2	05/04/09	REVISED PER COMMENTS
3	05/04/09	REVISED PER COMMENTS
4	05/04/09	REVISED PER COMMENTS
5	05/04/09	REVISED PER COMMENTS
6	05/04/09	REVISED PER COMMENTS
7	05/04/09	REVISED PER COMMENTS
8	05/04/09	REVISED PER COMMENTS
9	05/04/09	REVISED PER COMMENTS
10	05/04/09	REVISED PER COMMENTS

JOB NO. 09-04  
 DATE: 05/04/09  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

THICK: FLOOR PLAN

A2.10

**KEYNOTES**

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND PROPOSED WALLS AND PARTITIONS.
2. VERIFY THE EXISTING FLOOR FINISH AND ELEVATION.
3. VERIFY THE EXISTING CEILING FINISH AND ELEVATION.
4. VERIFY THE EXISTING DOOR AND WINDOW LOCATIONS AND SIZES.
5. VERIFY THE EXISTING ELECTRICAL AND MECHANICAL LOCATIONS AND SIZES.
6. VERIFY THE EXISTING PLUMBING LOCATIONS AND SIZES.
7. VERIFY THE EXISTING STRUCTURAL CONDITIONS.
8. VERIFY THE EXISTING FINISHES AND MATERIALS.
9. VERIFY THE EXISTING ACCESSIBILITY REQUIREMENTS.
10. VERIFY THE EXISTING EGRESS REQUIREMENTS.

**GENERAL NOTES**

1. ALL PARTITIONS SHALL BE 1/2" GYP BOARD ON METAL STUDS.
2. ALL PARTITIONS SHALL BE 1/2" GYP BOARD ON METAL STUDS.
3. ALL PARTITIONS SHALL BE 1/2" GYP BOARD ON METAL STUDS.
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10. ALL PARTITIONS SHALL BE 1/2" GYP BOARD ON METAL STUDS.

**WALL TYPE LEGEND**

01 - 1/2" GYP BOARD ON METAL STUDS

02 - 1/2" GYP BOARD ON METAL STUDS

03 - 1/2" GYP BOARD ON METAL STUDS

04 - 1/2" GYP BOARD ON METAL STUDS

05 - 1/2" GYP BOARD ON METAL STUDS

06 - 1/2" GYP BOARD ON METAL STUDS

07 - 1/2" GYP BOARD ON METAL STUDS

08 - 1/2" GYP BOARD ON METAL STUDS

09 - 1/2" GYP BOARD ON METAL STUDS

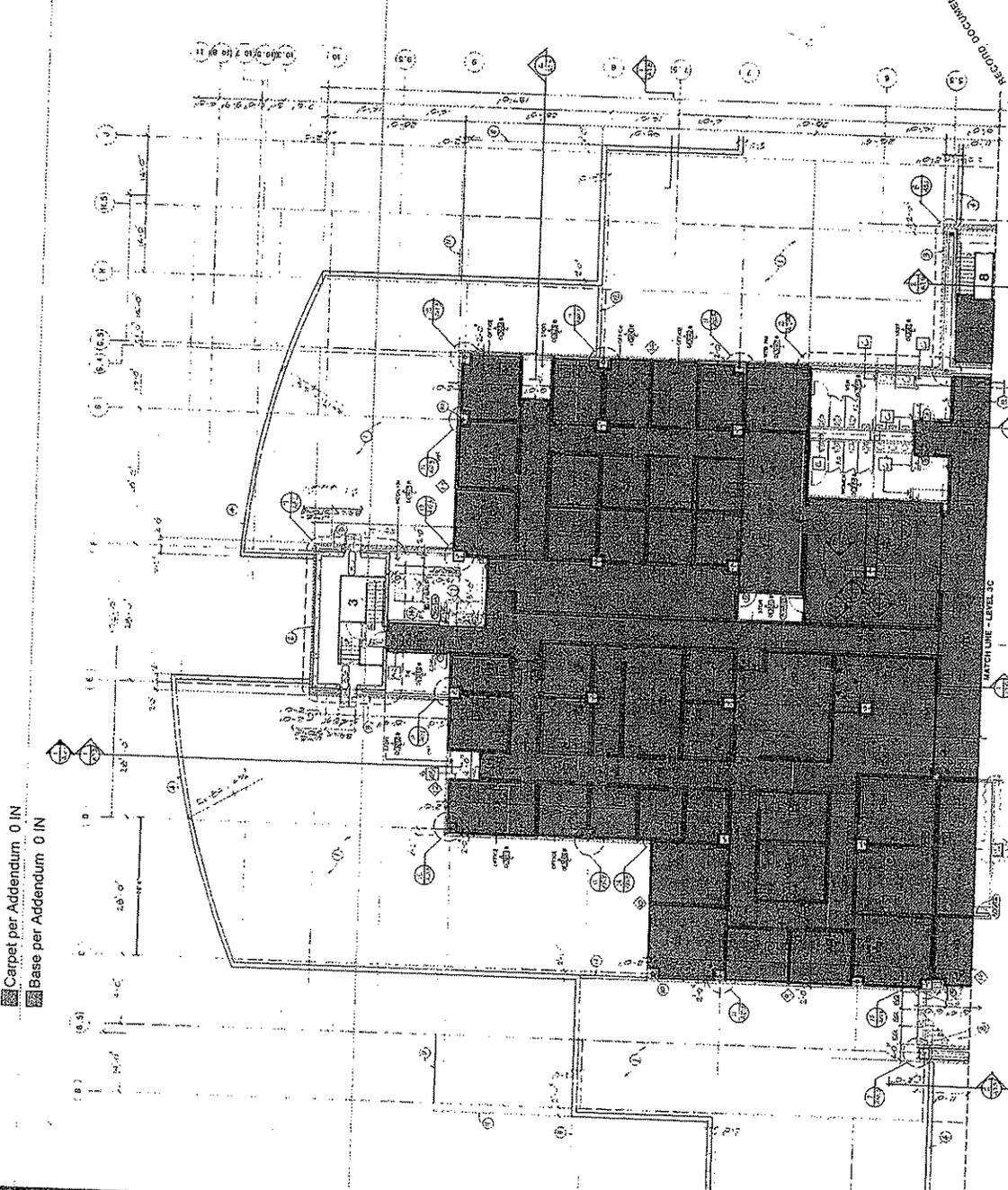
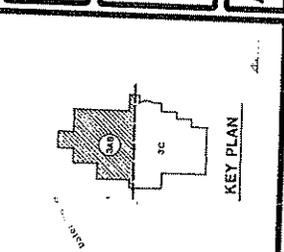
10 - 1/2" GYP BOARD ON METAL STUDS

**GRANITE LEGEND**

G-1 DIAMOND PINK

G-2 ORANGE

G-3 ACADREY BLACK



**May 4, 2009 - Okland Contract Attachment 2nd Floor Carpet & Base**

SCALE: 1/8" = 1'-0"

PROJECT NORTH

RECORDING ROOM - SHAMROCK BUILDING

FLOOR PLAN-LEVEL 3AB

MATCHLINE - LEVEL 3C



NO.	DATE	DESCRIPTION
1	05-04-09	ISSUED FOR PERMIT
2	05-04-09	ISSUED FOR PERMIT
3	05-04-09	ISSUED FOR PERMIT
4	05-04-09	ISSUED FOR PERMIT
5	05-04-09	ISSUED FOR PERMIT
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7	05-04-09	ISSUED FOR PERMIT
8	05-04-09	ISSUED FOR PERMIT
9	05-04-09	ISSUED FOR PERMIT
10	05-04-09	ISSUED FOR PERMIT

**KEYNOTES**

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS TO CENTER UNLESS OTHERWISE NOTED.
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**GENERAL NOTES**

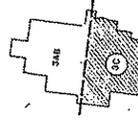
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**WALL TYPE LEGEND**

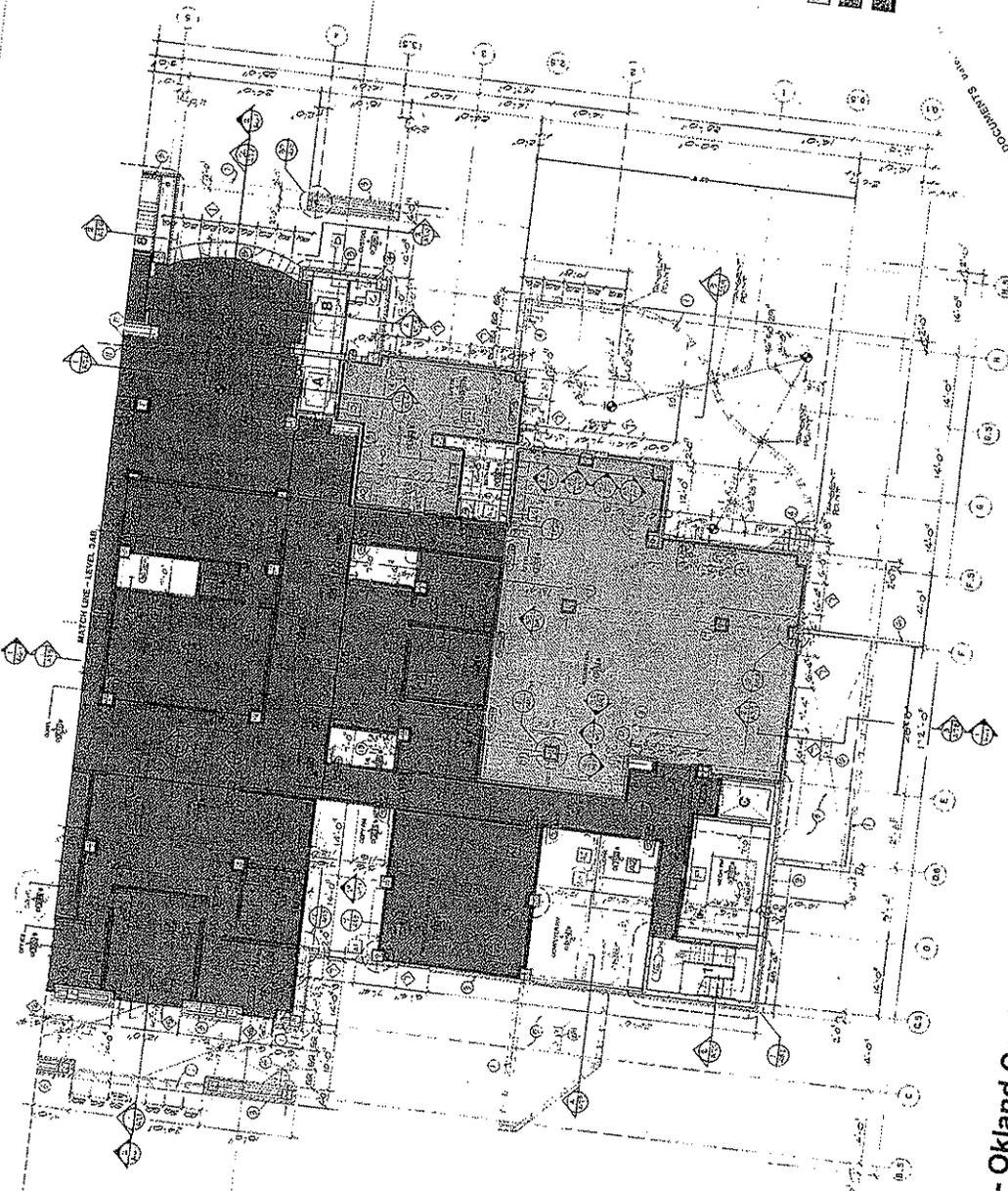
1. 1/2" GYPSUM BOARD ON 2x4 STUDS WITH 5/8" GYPSUM BOARD ON OTHER SIDE.
2. 5/8" GYPSUM BOARD ON 2x4 STUDS WITH 5/8" GYPSUM BOARD ON OTHER SIDE.
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10. 5/8" GYPSUM BOARD ON 2x4 STUDS WITH 5/8" GYPSUM BOARD ON OTHER SIDE.

**GRANITE LEGEND**

- G-1 DIAMOND PINK
- G-2 OSAGE
- G-3 AGABENT BLACK



- Carpet per Addendum 0 IN
- Base per Addendum 0 IN
- Carpet post Addendum 0 IN
- Base post Addendum 0 IN



# Attachment C

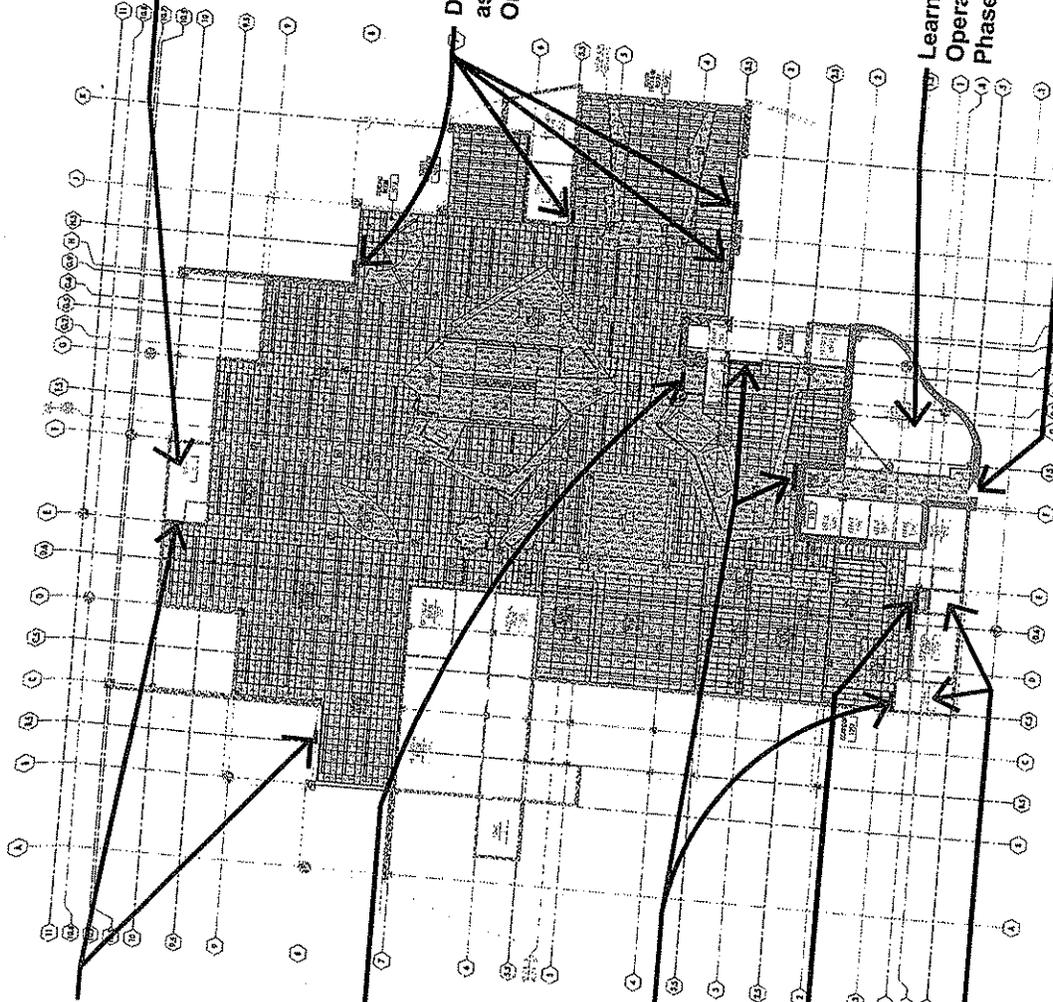
Doors to Be Marked / Blocked as Required for "Construction Only no Public Access"

Elevator to Be Marked / Blocked as Required for "Construction Only no Public Access"

Doors to Be Marked / Blocked as Required for "Construction Only no Public Access"

Elevator to Be Marked / Blocked as Required for "Construction Only no Public Access"

Construction Access Through Stair 1 and Elevator



Construction Access Through Stair #3

Doors to Be Marked / Blocked as Required for "Construction Only no Public Access"

NOT FOR CONSTRUCTION SET  
11-12-08 DD PRICING SET

Learning Center to Stay Operational - Flooring to be Phased In at Night at Hall

Proposed Location of Temporary Entrance for The Learning Center During Phase Construction

## Lower Level LL Phase

May 4, 2009 - Okland Contract Attachment Staging Plan

Composite Lower Level Reflected Ceiling Plan  
1/16" = 1'-0"

1. REVISIONS  
1. REVISIONS  
1. REVISIONS

Engberg Anderson  
ARCHITECTS  
MILWAUKEE • WASHINGTON • TUCSON

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Temp. A1  
Issued 11/12/08  
11-12-08 DD PRICING SET

# Attachment C



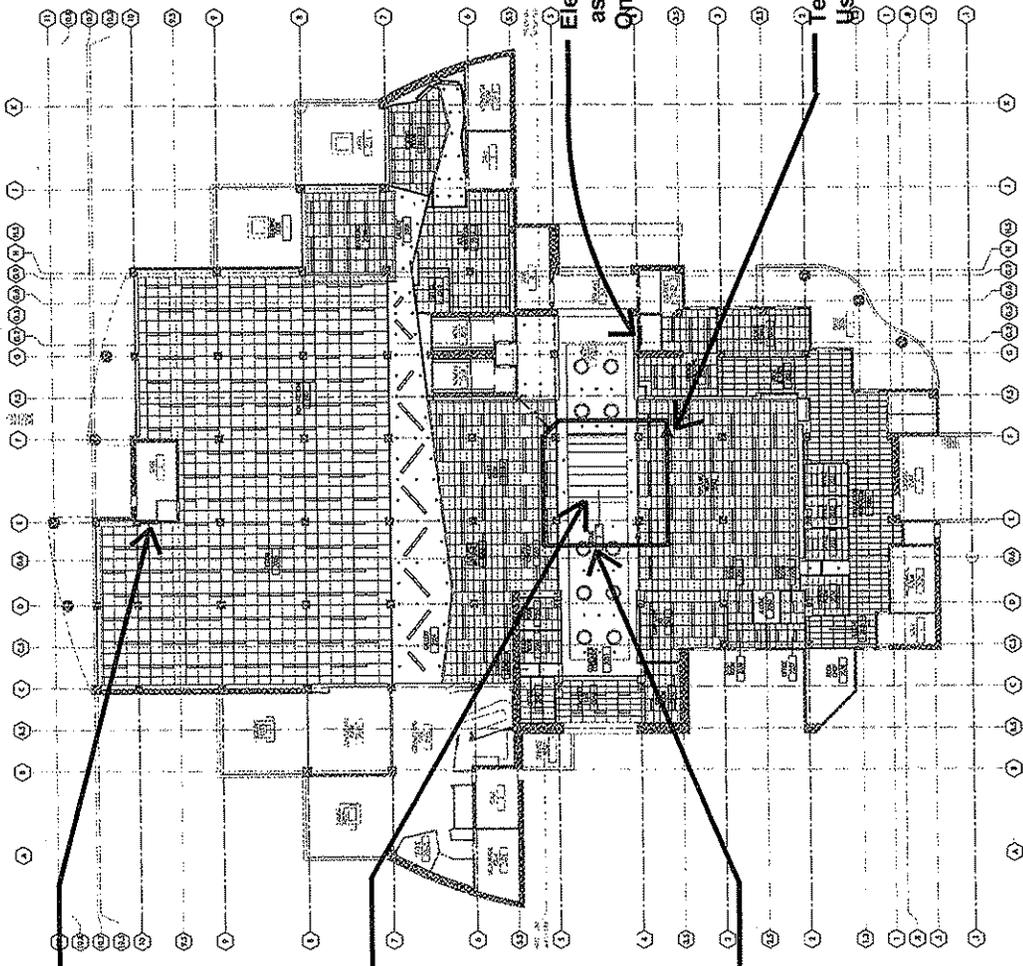
Doors to Be Marked / Blocked as Required for "Construction Only no Public Access"

Main Stair Closed - No Access

Approximate Location of Temporary Wall

Elevator to Be Marked / Blocked as Required for "Construction Only no Public Access"

Temporary Construction Door Used by Construction Only



- 1. ARCHITECT'S RESPONSIBILITY - ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND THE WORK SHOWN ON THESE PLANS.
- 2. CONTRACTOR'S RESPONSIBILITY - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF OAKLAND, CALIFORNIA, AND THE STATE OF CALIFORNIA.
- 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF OAKLAND, CALIFORNIA, AND THE STATE OF CALIFORNIA.
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11-12-08 DD PRJNG SET  
NOT FOR CONSTRUCTION

TEMPLE PUBLIC LIBRARY

Project No. 081725  
Date 08/11/09

Scale 1/8" = 1'-0"

Sheet No. 11-12-08 DD PRJNG SET

Composite First Floor  
Reflected Ceiling Plan  
1/16" = 1'-0"

## Level 1 During Lower Level Construction

May 4, 2009 - Oakland Contract Attachment Staging Plan

A202

2 of 12

11-12-08 DD PRICING SET  
NOT FOR CONSTRUCTION

- REVISIONS:**
1. REVISIONS TO BE MADE BY DATE
  2. CHECKED BY REVISIONS BY DATE
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TEMPLE PUBLIC LIBRARY

TEMPLE, AZ  
1000 N. CENTRAL  
PHOENIX, AZ 85004  
PH: 602.442.1111

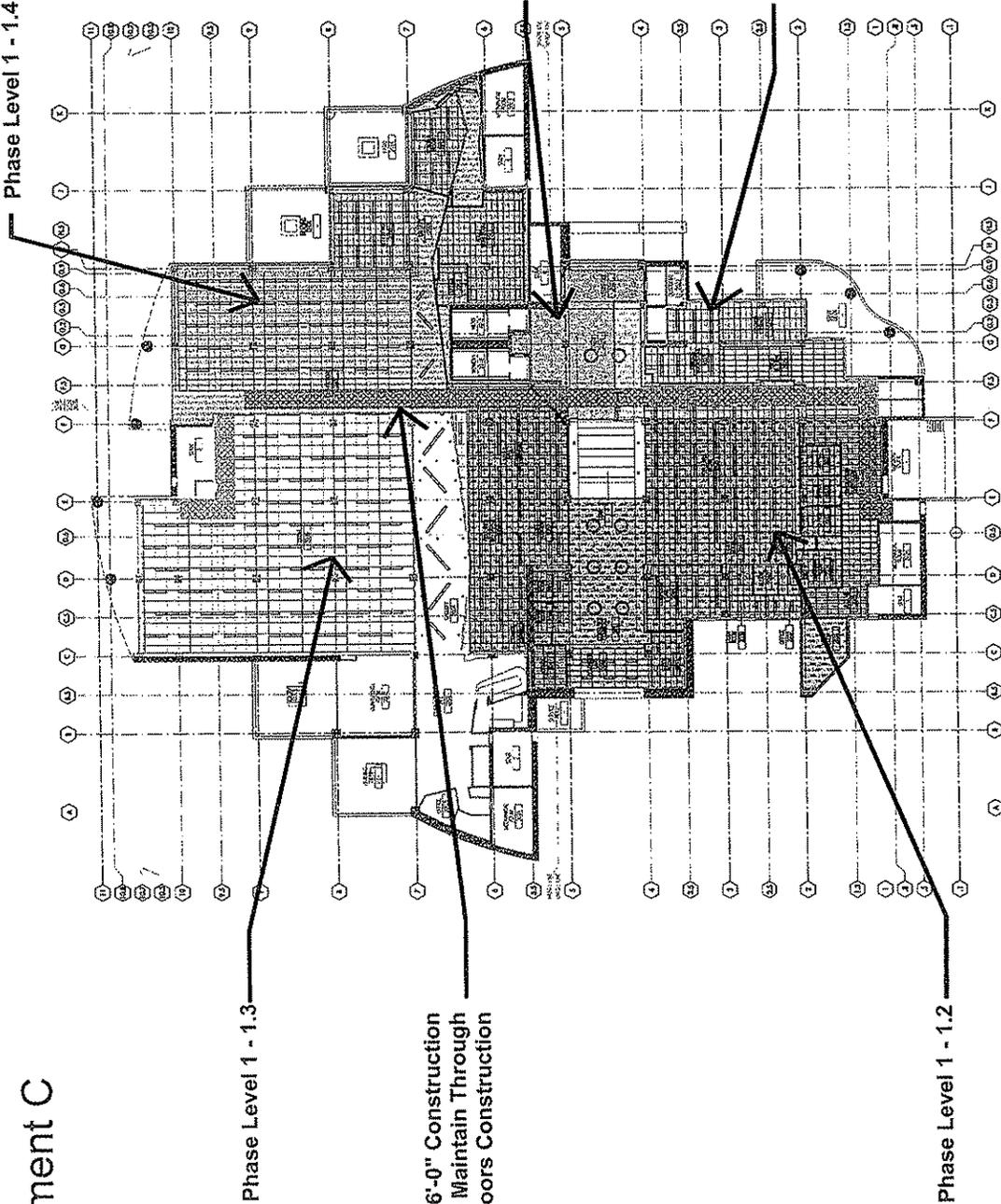
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Date: 11/12/08

Sheet No. 11  
Title: Overall Level 1 Phasing Plan  
Date: 11/12/08

Composite First Floor  
Reflected Ceiling Plan  
1/16" = 1'-0"

A202

3 of 12



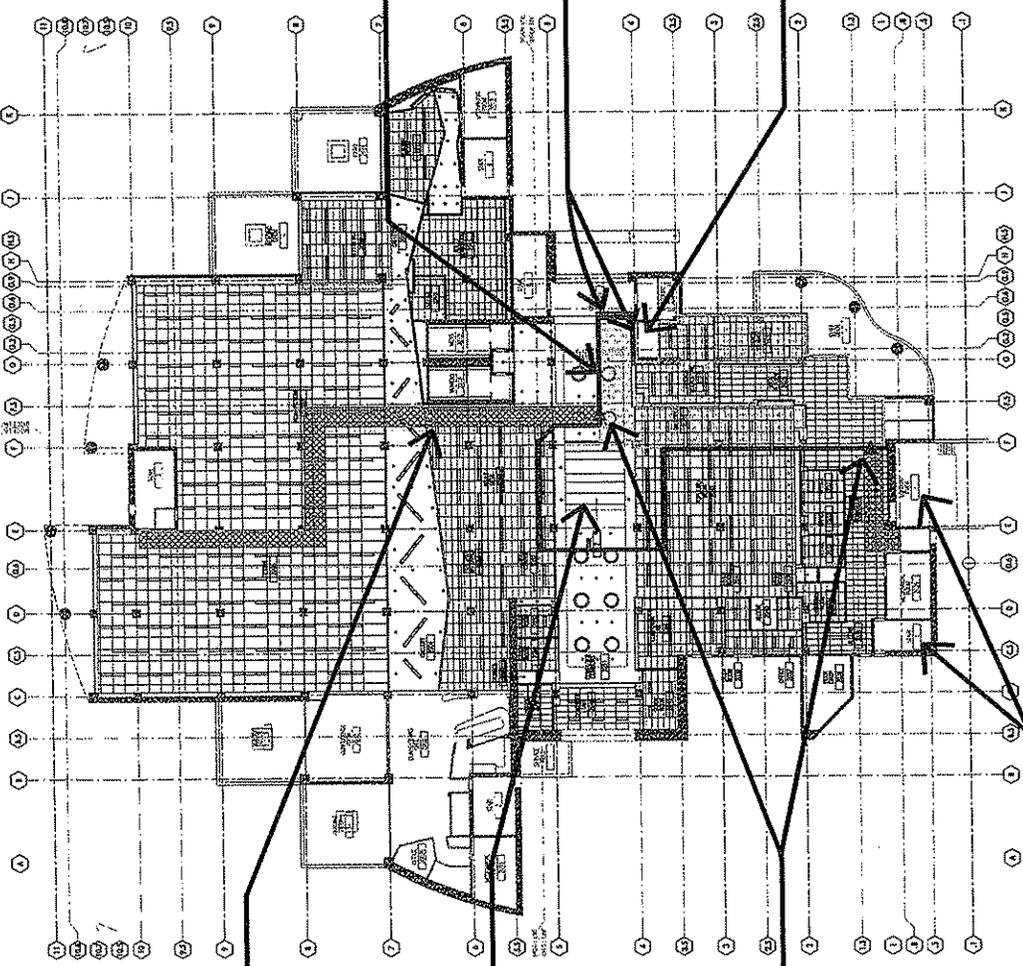
**Overall Level 1 Phasing Plan**

May 4, 2009 - Oakland Contract Attachment Staging Plan

# Attachment C



- 1. MAINTAIN CLEAR ACCESS TO ALL EXITS AND STAIRWAYS AT ALL TIMES.
- 2. MAINTAIN CLEAR ACCESS TO ALL EXITS AND STAIRWAYS AT ALL TIMES.
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Approximate 6'-0" Construction Pathway - Maintain Through Floors Construction

Main Stair Closed - No Access

Temporary Construction Door Used by Construction Only

Construction Access Through Loading Dock and Stair 1

Approximate Location of Temporary Wall

Doors to Be Marked / Blocked as Required for "Construction Only no Public Access"

Elevator to be out of Service to Main Level - Use Elevator C

## Level 1 - 1.1 Phasing Plan

May 4, 2009 - Oakland Contract Attachment Staging Plan

A202

4 of 12

Composite First Floor  
Reflected Ceiling Plan  
1/16" = 1'-0"

Drawn by: [Name]  
Checked by: [Name]  
Date: 12/28/08

Scale: 1/16" = 1'-0"

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Project No. 081105

NOT FOR CONSTRUCTION  
11.28.08 DD PRICING SET

# Attachment C



- 1. HATCH AND DIMENSIONS, USING DIMENSIONS IN INCHES.
- 2. DIMENSIONS AT EXTERIOR FACE UNLESS NOTED OTHERWISE.
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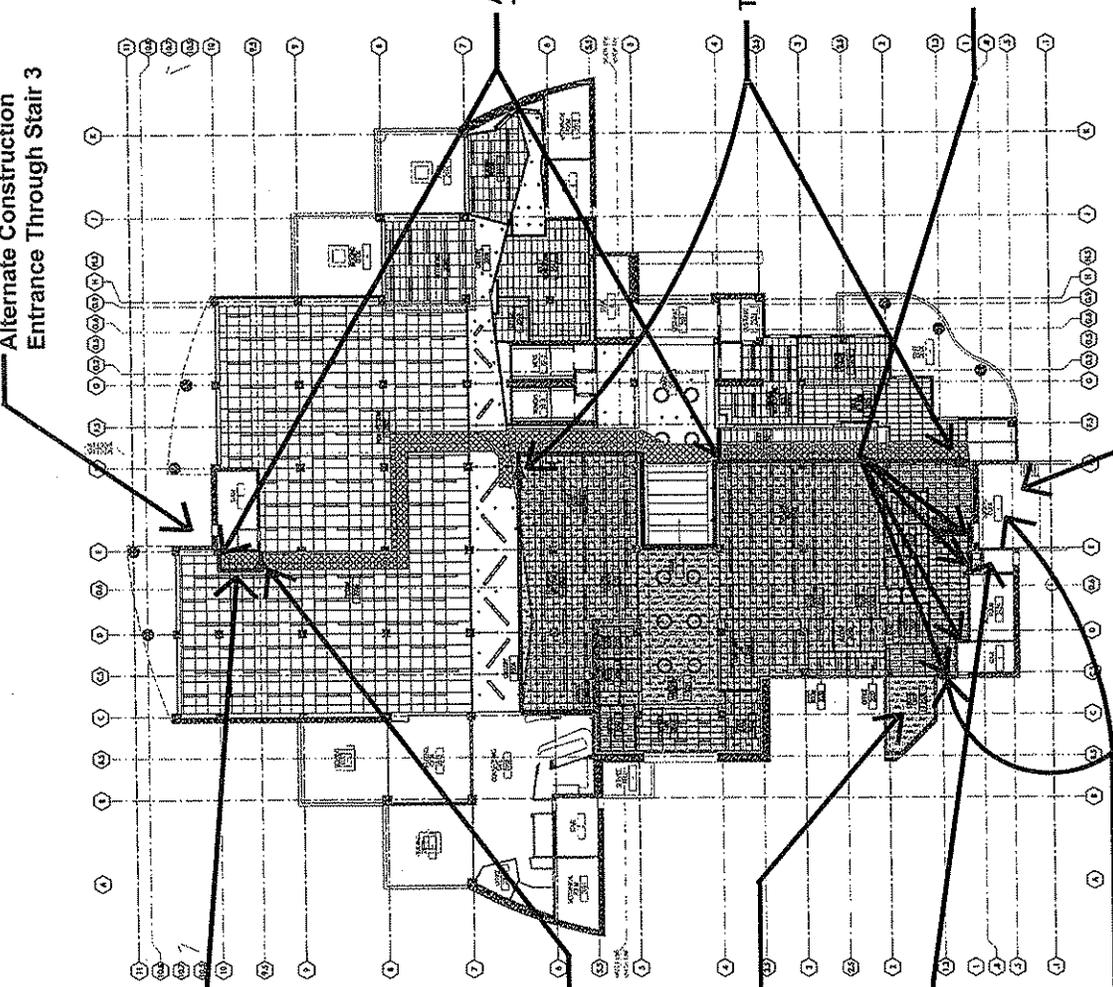
Temporary Vestibule to be Created to Keep Construction & Patrons Apart - Will Remain Emergency Access

Temporary Construction Door Used by Construction Only

Book Drop to be Moved or Provisions Made to Keep in Place During Construction

Elevator to be Marked / Blocked as Required for "Construction Only no Public Access"

Construction Access Through Loading Dock and Side Door



Alternate Construction Entrance Through Stair 3

Approximate Location of Temporary Wall

Temporary Construction Door Used by Construction Only

Doors to be Marked / Blocked as Required for "Construction Only no Public Access"

Loading Dock to be Shared, Library and Construction Team to Coordinate

## Level 1 - 1.2 Phasing Plan

May 4, 2009 - Oakland Contract Attachment Staging Plan

A202

5 of 12

Composite First Floor  
Reflected Ceiling Plan  
1/16" = 1'-0"

Sheet No. 175-1102-04

11-12-08 DD PRICING SET  
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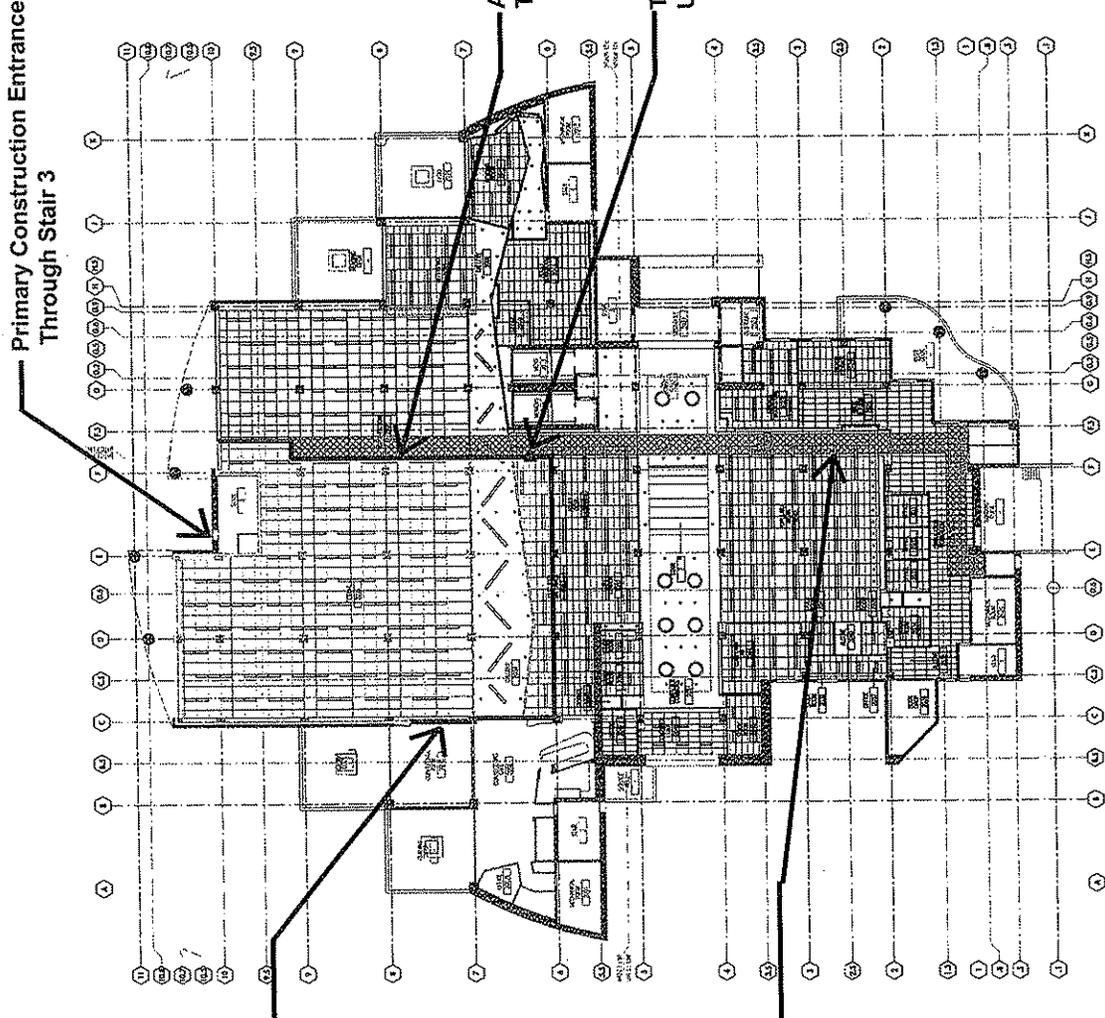
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# Attachment C



1. VERIFY AND CORRECT ALL CONSTRUCTION INFORMATION TO BE SHOWN  
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Doors to Be Marked / Blocked as Required for "Construction Only no Public Access"



## Level 1 - 1.3 Phasing Plan

May 4, 2009 - Oakland Contract Attachment Staging Plan

A202

6 of 12

Composite First floor  
Reflected Ceiling Plan  
1/16" = 1'-0"

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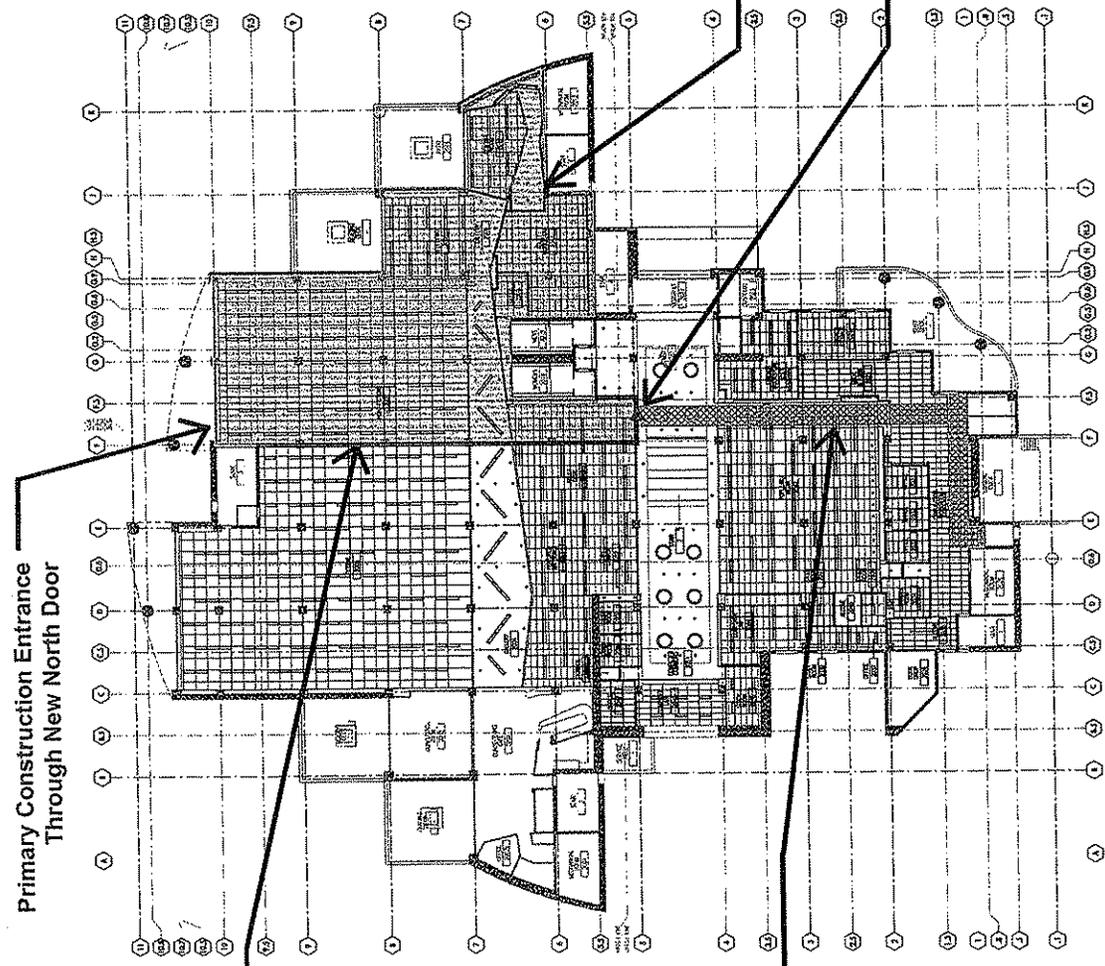
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- NOTES:**
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Project No. 031170  
 Date 05/04/09



**Level 1 - 1.4 Phasing Plan**

**May 4, 2009 - Okland Contract Attachment Staging Plan**

**A202**

7 of 12

# Attachment C



1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.  
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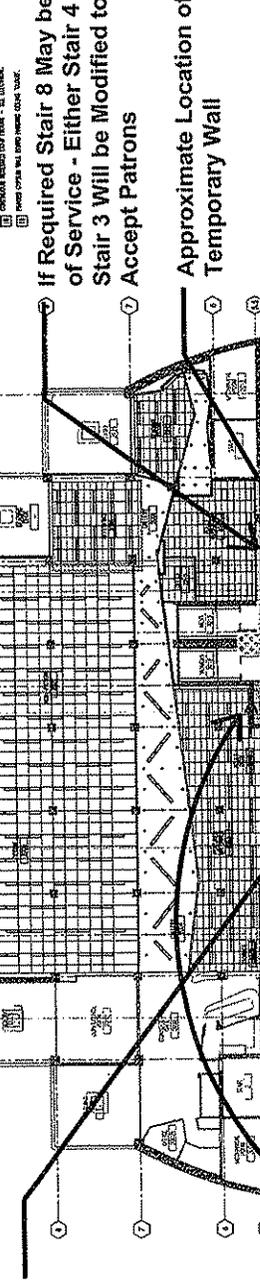
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- 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 11. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 12. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 13. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 14. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 15. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 16. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 17. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 18. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 19. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.
- 20. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE CITY OF MADISON ORDINANCES.

**Stair 3 Will be Modified to Support Foot Traffic to Lower Level while Main Stairs are Unavailable**

**Terrazzo Flooring at Stairs and Both Lower & Upper Level Landings will be Polished. Temporary Measures will be Provided to Keep**

**Temporary Construction Door Used by Construction Only**

**Approximate 6'-0" Construction Pathway - Maintain Through Floors Construction**



**If Required Stair 8 May be Out of Service - Either Stair 4 or Stair 3 Will be Modified to Accept Patrons**

**Approximate Location of Temporary Wall**

**Doors to Be Marked / Blocked as Required for "Construction Only no Public Access"**

**If Required Elevator B to be out of Service to Main Level - Use Elevator C if Required**

**NOT FOR CONSTRUCTION**

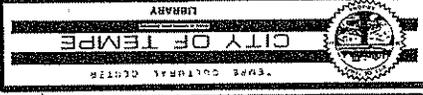
11-12-08 DD PRICING SET

Project: TEMPE PUBLIC LIBRARY  
 Date: 08/17/09  
 Location: 1000 W. WASHINGTON ST., MILWAUKEE, WI 53233  
 Designer: J. J. ENGELBROG  
 Checker: J. J. ENGELBROG  
 Title: ARCHITECT

## Level 1 - 1.5 Phasing Plan

May 4, 2009 - Okland Contract Attachment Staging Plan

A202

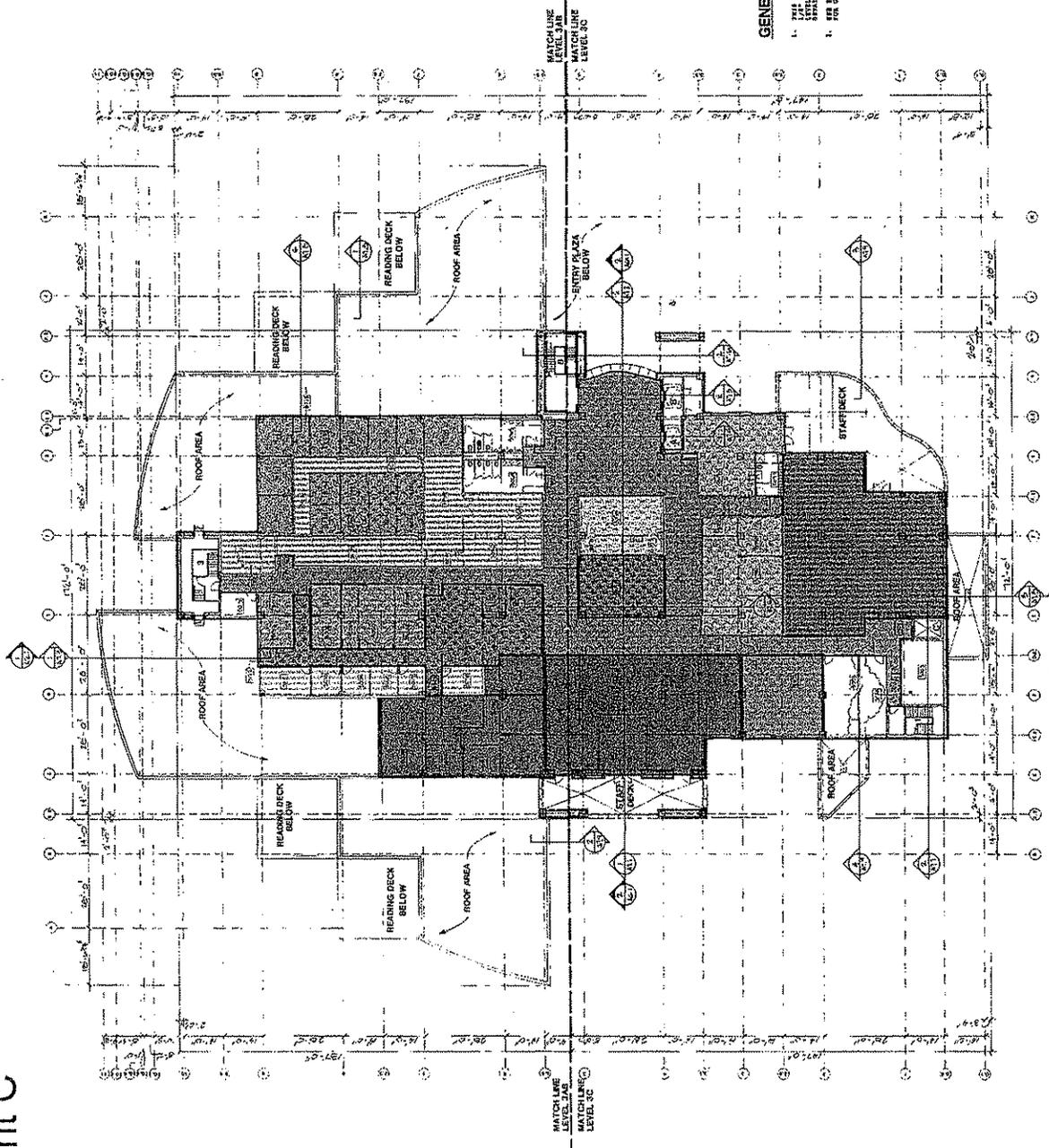


NO.	DATE	REVISION
1	05/04/09	ISSUED FOR PERMITTING
2	05/04/09	ISSUED FOR PERMITTING
3	05/04/09	ISSUED FOR PERMITTING
4	05/04/09	ISSUED FOR PERMITTING
5	05/04/09	ISSUED FOR PERMITTING
6	05/04/09	ISSUED FOR PERMITTING
7	05/04/09	ISSUED FOR PERMITTING
8	05/04/09	ISSUED FOR PERMITTING
9	05/04/09	ISSUED FOR PERMITTING
10	05/04/09	ISSUED FOR PERMITTING

DESIGN NO. 10000  
 DATE: 05-04-09  
 DRAWN BY: J...  
 CHECKED BY: J...  
 PROJECT NO. 09-05-04

THIS IS A COMPOSITE PLAN  
 LEVEL 3

A2.3



**GENERAL NOTES**

1. THIS SHEET IS FOR REFERENCE ONLY. IT DOES NOT REPRESENT THE FINAL DESIGN OR CONSTRUCTION. CONSULT THE ARCHITECT FOR ALL NECESSARY INFORMATION.
2. FOR GENERAL INFORMATION ONLY.
3. FOR GENERAL INFORMATION ONLY.

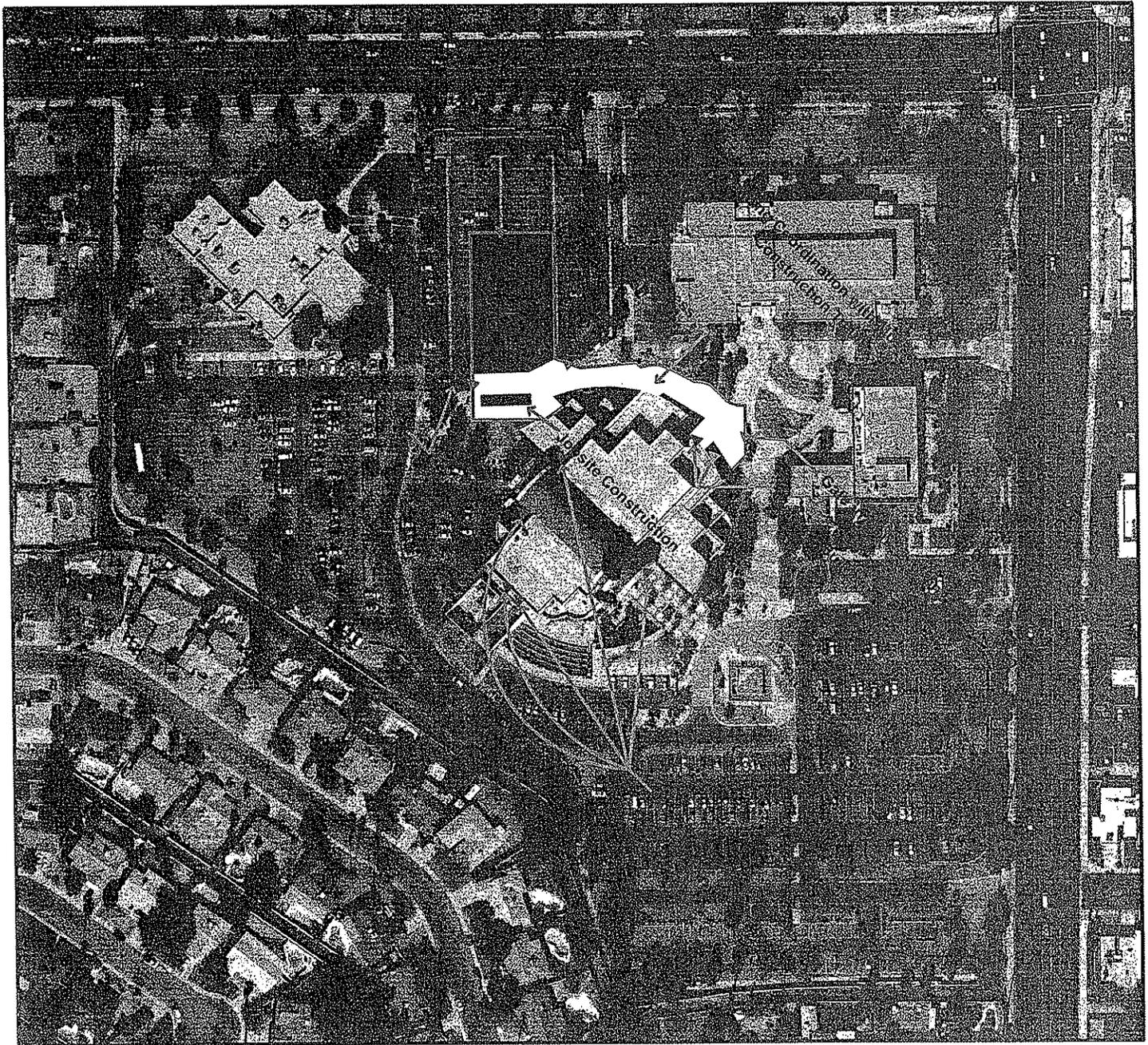
RECORD DOCUMENTS BASED ON THIS PLAN



3 COMPOSITE PLAN - LEVEL 3

**Level 2 Phasing Plan**

May 4, 2009 - Oakland Contract Attachment Staging Plan



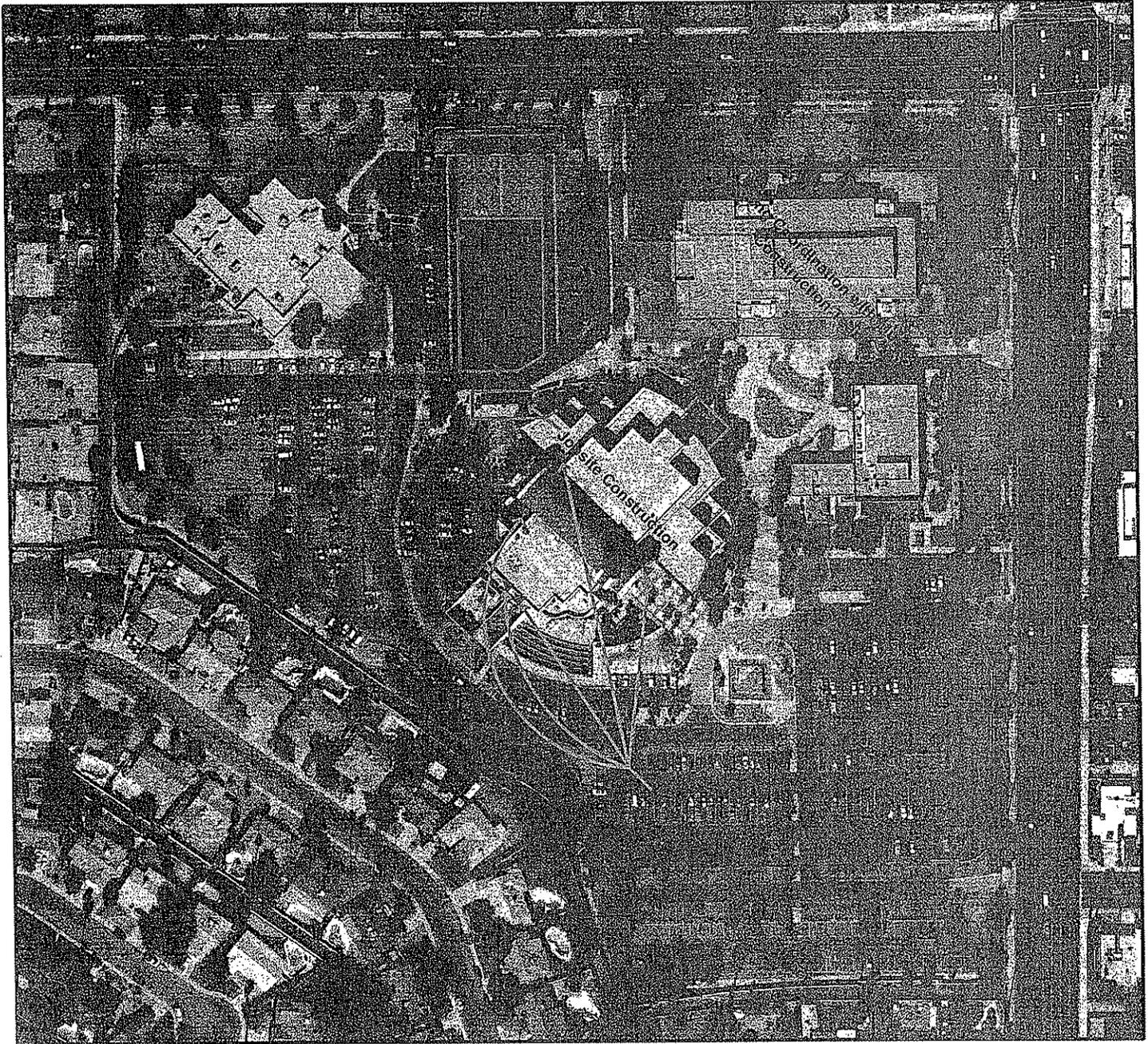
## Proposed Library Construction Site Staging

May 4, 2009 - Oakland Contract Attachment Staging Plan

10 of 12



## Proposed Library & Anticipated Museum Construction Site Staging



**Proposed Library & Anticipated Museum Construction Site Staging  
During Tempe Tardeada**

May 4, 2009 - Okland Contract Attachment Staging Plan



## SECTION 08710

## DOOR HARDWARE

## PART 2 PRODUCTS

## 2.01 MANUFACTURERS

- A. Products equaling or exceeding quality requirements of the specified product as manufactured by the following are acceptable:
- |  |                                   |
|--|-----------------------------------|
| 1. Butts:                                  | McKinney , Stanley, Hager         |
| 2. Locksets:                               | Corbin Russwin: NO SUBSTITUTIONS. |
| 3. Exit Devices:                           | Corbin Russwin: NO SUBSTITUTIONS. |
| 4. Closers:                                | Corbin Russwin: NO SUBSTITUTIONS. |
| 5. Thresholds, Seals, Weatherstripping:    | Pemko, McKinney, Reese.           |
| 6. Stops, Kickplates, Pulls, Push Plates:  | Trimco, McKinney, Rockwood.       |
| 7. Pocket Door Hardware:                   | McKinney, Stanley, Hager.         |
| 9. Coordinators and Automatic Flush Bolts: | Trimco, McKinney, Rockwood.       |
| 10. Push/Pull Latches:                     | Trimco, McKinney, Rockwood.       |
| 11. Digital Locks:                         | Alarm Lock.                       |
- B. To the greatest extent possible, obtain all finish hardware of the same type of item from only one Manufacturer.

## 2.02 HARDWARE

- A. General:
1. Provide items as listed in schedule complete to function as intended.
  2. Manufacture hardware supplied for metal doors or jambs to template and secure with machine screws.
  3. Where cylindrical locks are used in hollow metal doors, furnish lock reinforcing in the door at the time of manufacture.
  4. Furnish finish hardware with all necessary screws, bolts, or other fastenings of suitable; size and type to anchor the hardware in position for heavy use and long life, and of compatible material and finish.
  5. Furnish fastenings with anchors according to the material to which it is applied, and as recommended by the Manufacturer.
  6. Furnish hardware fastened to concrete with machine screws and tampins.
  7. Fasten closers on wood or mineral core doors with fasteners recommended by the closer manufacturer for the apparent intended use of the device, unless the installation is in an opening requiring UL-rated hardware in which case sex nuts and bolts (approved by UL) are required by UL.
  8. For surface mounted closer, pivot hinges, concealed closers or holders or other hardware mortised into the top or bottom edges, edges shall be a minimum of 4-1/2 inches, thoroughly kiln-dried hardwood.
- B. Finishes: US 26D (626), satin chrome, and US 32D (630), satin stainless steel, unless scheduled otherwise.

## Attachment E

TEMPE PUBLIC LIBRARY RENOVATION  
PROJECT NO. 6702491

MARCH, 2009

- C. Butt Hinges:
1. Determine correct clearance from the Drawings.
  2. Provide non-removable pins on exterior outswinging doors and reverse bevel interior locked doors.
  3. Doors with closers shall have ball bearing butts.
  4. Flat button, top and bottom tips required.
  5. Butt Hinge Length: As recommended by Manufacturer.
  6. Number of Butt Hinges Required: As recommended by Manufacturer.
  7. Finish shall be 652 Satin Chrome Plated.
- D. Door Locks and Latchsets: Types, series, designs, functions and finishes as listed in hardware sets.
1. Design shall permit removal of cylinder without removing lock from door.
  2. Provide locks and latchsets with 2-3/4 inch backset unless otherwise noted.
  3. Provide strikes with extended lip where required to protect trim from being marred by latch bolt.
  4. Provide wrought boxes with strikes.
  5. Extra heavy-duty grade 1 with 7-pin interchangeable (IC) cores. Meets ANSI A156.2 series 4000 Grade 1. Federal Specification FF-H-106C.
  6. Lever models will be used to comply with the Americans with Disabilities Act (ADA). Levers shall have patented lever release design for vandal resistance. Levers shall be free wheeling when in locked position for vandal resistance. Levers shall be equipped with anti-rotational throughbolts mounted through the door and shall have heavy duty lever return springs.
  7. Lever designs will comply with all appropriate codes. Locks and levers shall meet ANSI A117.1 Accessibility Code.
  8. Approved brand: Corbin/Ruswin CL3300 Series NZD lever design to accept PCS Pyramid security interchangeable core with 626 satin chrome finish.
  9. Locksets shall meet UL10C for positive pressure.
  10. Lock and latches to have 2-3/4" backset unless otherwise noted.
  11. Deadlocks to be DL4000 series.
  12. Strikes shall be extended lips where required to protect trim from being marred by latch bolt. Wrought boxes shall be furnished with all strikes.
  13. Finish: Satin Chrome 626.
  14. Lock function legend.
    - a. Office CL3351
    - b. Mechanical equipment, Janitor, Storerooms, Storage CL3357
    - c. Exterior doors not having exit devices or dead locks, and stair doors CL3372
    - d. Private toilets CL3320
    - e. Latches CL3310
    - f. All other doors CL3355Note: Verify all lock functions with owner prior to ordering locks.
- E. Door Closers:
1. Surface mounted without covers, finish sprayed to match other hardware.
  2. All closers shall be surfaced mount non-handed closers with the ability to mount the closer in either regular, parallel or top-jamb configurations.
  3. Closers shall be non-sized fully adjustable from sizes 1 through 6. Closers shall be equipped with standard separate latching, closing and multiple backcheck location valves.
  4. Closer bodies shall be manufactured with a cast iron case with seamless one-piece forged steel spring tube. Closers shall have a triple heat-treated steel spindle.
  5. All closers shall meet ANSI A156.4 Grade 1. Federal FF-H-121D, Type 3000.

## Attachment E

TEMPE PUBLIC LIBRARY RENOVATION  
PROJECT NO. 6702491

MARCH, 2009

6. All closer shall comply with the Americans with Disabilities Act (ADA) and meet ANSI A117.1 Accessibility Code Section 4.13.11.
7. All closers shall be equipped with a full non-metallic cover.
8. All closers shall be supplied with combination screws for wood and metal doors. Sex nuts and bolts shall be provided and installed on all fire rated doors.
9. Equip exterior out-swinging doors and doors with high frequency use with heavy-duty parallel arms.
10. Door closers shall meet UL10C for positive pressure.
11. Acceptable manufactures: Corbin/Ruswin DC6000 series.
12. Finish: 689 silver aluminum painted finish to match other hardware.
13. Warranty: Closers shall carry a ten year warranty.

### F. Exit Devices:

1. All exit devices shall be rim type with Corbin/Ruswin IC core compatible where possible, and installed with a removeable mullion in double door applications.
2. Acceptable Manufacturers: Corbin/Ruswin ED5000S Series with heavy-duty N9 series lever design trim PCS Pyramid security interchangeable core.
3. All exit devices shall be rim type non-handed devices with compatibility for use with lever trim to match lever locksets.
4. All exit devices shall meet ANSI A156.3 Type 1, Grade 1.
5. All exit devices shall be equipped with 3/4 inch stainless steel Pullman type throw with stainless steel deadlocking latch. Heavy duty cold forged steel chassis with heavy gauge steel mechanisms, electroplated for corrosion resistance; finished parts shall be brass, bronze or stainless steel; stainless steel springs and nylon bearings.
6. Devices shall be mounted with throughbolts that attach through the device head assembly through the door and directly into the lever or pull trim.
7. Exit devices shall comply with all appropriate codes. All devices shall comply with NFPA 101 Life Safety Code. All fire rated devices shall comply with NFPA 80 Fire Doors and Windows. Lever and pull designs shall meet ANSI A117.1 Accessibility Code.
8. All lever and pull designs used shall comply with the Americans with Disabilities Act (ADA).
9. All functions equipped with cylinders shall be supplied to accept Corbin/Ruswin PCS Pyramid security interchangeable cores.
10. All non-rated devices shall be equipped with keyed cylinder dogging.
11. Active lever trim shall be heavy duty with free wheeling lever when in the locked position. Trim shall be throughbolted and attached directly into the exit device head. Heavy-duty solid forged escutcheon with beveled sides for attack resistance and flush cylinder face.
12. All exit devices shall meet UL10C for positive pressure.
13. Finish: Stainless Steel 630.
14. All exit devices shall carry a three-year limited warranty.

G. Push Plates: Push plate P055 8 x 16.

H. Pull Plates: DP2103 4 x 16.

I. Kickplates and Armorplates: Shall be .050 stainless steel material 12" high, 2" LDW single door, 1"LDW pair doors. Armor plates 36" high. Provide special size kickplates at doors with narrow bottom rails. Approved manufacturers are McKinney, Trimco and Rockwood.

## Attachment E

TEMPE PUBLIC LIBRARY RENOVATION  
PROJECT NO. 6702491

MARCH, 2009

- J. Overhead Holders or Stops: Rixson as listed in hardware sets.
- K. Stops and Bumpers: Stops (other than overhead type) shall be wall types, WS04. Floor stops to be FS01 x (interior) or DS08 (exterior). Walls to receive proper backing for wall bumpers as specified in Section 06100 - Rough Carpentry.
- L. Silencers: At metal frames; 3 at each jamb of single doors, 2 at each jamb of double doors. Not required on doors having weatherstrip or seals.
- M. Flushbolts: As listed in hardware sets.
- N. Weatherproofing, Smoke Seals and Door Bottoms:
  - 1. Continuous at head and jamb of exterior doors; continuous smoke seals at head and jamb of corridor doors.
  - 2. Weatherseal is to provide a continuous seal surface at both jambs and head. Weatherseal for doors scheduled to receive soffit mounted hardware shall be type Pemko 305CR.
  - 3. Balance to be Pemko S88D.
- O. Thresholds: Sized for opening; to meet handicapped conditions. Provide as detailed on Drawings, or as listed in hardware sets.
- P. Padlocks: As manufactured by Corbin/Ruswin with the ability to accept PCHS Pyramid high security interchangeable cores.
- Q. Keyless/Electronic Locks: Approved Models: Alarm Lock Trilogy PDL3000, Hirsch Electronic Locks.

### 2.03 KEYING

- A. Furnish locksets with temporary construction cores only. The Hardware Distributor shall provide the Contractor with four control keys for the temporary construction cores. The Contractor shall in turn provide the City of Tempe Lock Shop with two control keys for temporary construction cores at substantial completion of the project. All locks and cylinders will be prepared to accept the City of Tempe's high security key system.
- B. The key system is a Corbin/Ruswin Pyramid 7-Pin Security Patented System. All cylinders, keys, key information including bitting information for this system will be compiled, purchased, received, maintained and installed by City of Tempe personnel.**
- C. The hardware supplier shall initially provide to the site all locks/lock cylinders with "Construction Master Keying" (CMK) only, including 6 Construction Master Keys. All temporary construction cores shall be returned to the Hardware Distributor after removal and replacement of permanent cylinders.
- D. Where locks are to be furnished with "Interchangeable Core Cylinders", all temporary construction phase cylinders provided by contractor will be replaced with new permanent cylinders by the City of Tempe Lock Shop.

## 2.04 HARDWARE GROUPS

**HG1**

Butts	T4A3786 NRP
Lock	CL3300 NZD PCS x Function Legend
Stop	as required

**HG-2**

Butts	T4A3786 NRP
Lock	CL3300 NZD PCS x Function Legend
Overhead Holder	10-346

**HG-3**

Butts	T4A3786 NRP
Lock	CL3300 NZD PCS x Function Legend
Closer	DC6210 A3
Stop	as required
Kickplate	KP50 12" B4E CSK

**HG-4**

Butts	T4A3786 NRP
Lock	CL3300 NZD PCS x Function Legend
Closer	DC6210 A2
Stop	as required
Kickplate	KP50 12" B4E CSK

**HG-5**

Butts	T4A3786 NRP
Deadlock	DL4000 series x Function Legend x PCS
REUSE EXISTING AUTOMATIC OPENER AND SWITCHES	
Stop	as required
Kickplate	KP50 12" B4E CSK
Push	P055 B4E
Pull	DP2103

**HG-6**

Butts	T4A3786 NRP
Deadlock	DL4000 series x Function Legend x PCS
Flush Bolt Set	FB11W
Dust Proof Strike	DPS3
2 Overhead Holder/Stops	10-346
2 Flush Pull	FP10
2 Roller Latch	RL1B

**HG-7**

Butts	T4A3786 NRP
Exit Device	ED5200
Exit Device Trim	N955 PCS
Closer	DC6210
Stop	as required
Kickplate	KP50 12" B4E CSK

Attachment E

TEMPE PUBLIC LIBRARY RENOVATION  
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MARCH, 2009

**HG-8**

Butts	T4A3786 NRP
Keypad Lock	PDL3000 IC-C
Cylinder Core	8027
Closer	DC6210
Kickplate	KP50 12" B4E CSK
Overhead Holder	10-346

OPERATION: LATCHBOLT RETRACTED BY LEVER ON INSIDE AT ALL TIMES. KEY OUTSIDE RETRACTS LATCHBOLT. OUTSIDE LEVER RIGID EXCEPT WHEN IN "PASSAGE" MODE OR VALID USER CODE.

**HG-9**

2 Continuous Hinges	MCK-12HD
2 Exit Devices	ED5800 M52
2 Mortise Cylinder	1027
1 Rim Cylinder	3027
2 Door Pull	OP903
1 Closer	DC6220
1 Auto Operator	6920
2 Door Switches	662
2 Overhead Holders	10-346
Threshold	MCK171 A
2 Sweeps	MCK29324 CNB
2 Door Position Switches	DPS-M-BK

**HG-10**

2 Continuous Hinges	MCK-12HD
2 Exit Devices	ED5400 M52
1 Rim Cylinder	3027
2 Mortise Cylinders	1027
2 Door Pulls	OP903
2 Closers	DC6210 A3
2 Stops	as required
2 Kickplates	KP50 12" B4E CSK

**HG-11**

2 Continuous Hinges	MCK-12HD
1 Deadlock	DL4000 series x Function Legend x PCS
1 Flush Bolt Set	FB11W
1 Dust Proof Strike	DPS3
2 Closers	DC6210 A3
2 Stops	as required
2 Armor Plates	KP50 40" B4E CSK
2 Push Plates	P055 B4E
2 Pulls	DP2103

**HG-12**

Butts	T4A3786 NRP
Closer	DC6210 A2
Stop	as required
Kickplate	KP50 12" B4E CSK

Attachment E

TEMPE PUBLIC LIBRARY RENOVATION  
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MARCH, 2009

Push Plate P055 B4E  
Pull DP2103

**HG-13**

Deadlock DL4000 series x Function Legend x PCS  
Flush Bolt FB02W  
Strike FB02W-S  
Concealed Closer 808 105H  
4 Push Plates P055 B4E  
4 Armor Plates KP50 40" B4E CSK

**HG-14**

Butts T4A3786 NRP  
2 Closers DC6210 A4  
2 Kickplates KP50 12" B4E CSK  
2 Push Plates P055 B4E  
2 Pulls DP2103

**HG-15**

STANLEY HEAVY DUTY BARN DOOR STYLE SLIDING DOOR HARDWARE INCLUDING TRACK, BALL BEARING HANGERS, GUIDES, STOPS, ETC.

2 Deadlock DL4000 series x Function Legend x PCS

NOTE: DOORS 1029 2/3 TO BE HUNG ON CONTINUOUS TRACK AND CAN BE LOCKED IN CLOSED POSITION.

**HG-16**

Butts T4A3786 NRP  
Latch CL3300 NZD x Function Legend  
Stop as required

**HG-17**

ALL HARDWARE BY DOOR SUPPLIER.

**HG-19**

STANLEY HEAVY DUTY POCKET DOOR HARDWARE INCLUDING TRACK, BALL BEARING HANGERS, GUIDES, STOPS, ETC.

2 Pull DP03 BTB MTG

Deadlock DL4000 series x Function Legend x PCS CYLINDER ON ROOM 1029 SIDE

**HG-20**

Butts T4A3786 NRP  
Deadlock DL4000 series x Function Legend x PCS  
2 Closers DC6200 A1  
2 Stops as required  
2 Kickplates KP50 8" B4E CSK  
2 Door Pulls RM2540-16 BTB MTG

END OF SECTION

## Attachment F

01 Issued For Bidding Drawing Clarifications

May 1, 2009

### TEMPE PUBLIC LIBRARY INTERIOR RENOVATION

TO ALL DOCUMENT HOLDERS:

This addendum is issued to modify, explain or correct the Bidding Documents issued for the referenced project. Attach this addendum or transfer its information to the documents in your possession. Acknowledge receipt of this addendum in the appropriate places on the Bid Form. Each Bidder shall carefully read all items in their entirety and thoroughly examine the Contract Documents to determine to what extent the addendum affects the Bids.

#### **PART 1 - REVISIONS TO THE DRAWINGS**

May 1, 2009

Engberg Anderson, Inc.  
2 E. Congress  
Suite 400  
Tucson, Arizona 85701

Re: 01 Issued For Bidding Drawing Changes  
Tempe Public Library

#### **General:**

***EADP – RESPONSE IN RED***

***OTHER – RESPONSE IN BLUE***

1. Work at Existing 2<sup>nd</sup> Floor, is work required and if so what is extent? Here is locations that information is found but for us to price as an option some additional information may be required because not all information is present at this floor: ***EADP RESPONSE: ALL WORK WITH THE EXCEPTION OF NEW CARPETING & BASE SHALL BE PRICED AS AN ALTERNATE.***
  - a. **Room 3077 (Kitchenette):**
    - i. Demo sheet D102b show cabinet & sink removal is required. ***EADP RESPONSE: CONFIRMED CABINET& SINK TO BE REMOVED.***
    - ii. 3/A102b shows cabinets with sink. ***EADP RESPONSE NEW: CABINETS & SINK CONFIRMED.***
      1. 12/A804 shows cabinet. ***EADP RESPONSE: NEW CABINET DETAIL CONFIRMED.***

**081785.00 – TEMPE LIBRARY RENOVATION (PROJECT NO. 6702491)**  
**PRE-BID QUESTION SET – ITEM ANSWERS**

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- iii. 3/PD102 shows demo. **EADP RESPONSE: DEMO AS SHOWN IS CORRECT.**
  - iv. 3/PD202 shows new plumbing. **EADP RESPONSE: NEW PLUMBING CONFIRMED.**
  - v. Not Shown on Finish Schedule in Specifications. **EADP RESPONSE: 3077 KITCHENETTE FINISHES ARE AS FOLLOWS: FLOOR, NO CHANGES, BASE: NEW RB-1, ALL WALLS: NEW PT-1, CEILING: NO CHANGE.**
  - vi. Will this room need no flooring & painting too with all demo and re-work? **EADP RESPONSE: SEE ITEM V.**
- b. **Room 3075 (Board Room):**
- i. Demo sheets did not specifically show any work (may want to note at this location ceiling is being removed). **EADP RESPONSE: DEMO ACCOUSTICAL TILE & LIGHTING ONLY.**
  - ii. Acoustical Ceiling Work is Shown on Sheet A202B (2/A202b) **EADP RESPONSE: CONFIRMED NEW.**
    - 1. No details shown for two close lines that outline between lights. **EADP RESPONSE: LINES REPRESENT EXISTING BULKHEAD TO REMAIN.**
  - iii. Fire suppression is shown. **EADP RESPONSE: CORRECT, NEW FIRE SUPPRESION HERE.**
  - iv. No Mechanical shown, however we will need to modify ductwork. **EADP RESPONSE: PROVIDE BUDGET**
  - v. E103b shows electrical demo. **EADP RESPONSE: SHOWS REMOVAL OF LIGHTING.**
  - vi. E203b shows new electrical work. **EADP RESPONSE: SHOWS NEW LIGHTING IN PLACE.**
  - vii. AV doesn't show any work. **EADP RESPONSE: NO AV WORK TO BE INSTALLED IN THIS ROOM.**
  - viii. Shown in Finish Schedule of Specifications. **EADP RESPONSE: WILL REFINISH SPACE PER SCHEDULE.**
- c. **Room 3078 (Conference Room):**
- i. Demo sheets did not specifically show any work (may want to note at this location ceiling is being removed). **EADP RESPONSE: DEMO ACCOUSTICAL TILE & LIGHTING ONLY.**
  - ii. Acoustical Ceiling Work is Shown on Sheet A202B (2/A202b) **EADP RESPONSE: CONFIRMED NEW GRID ONLY.**
    - 1. No details shown for two close lines that outline between lights. **EADP RESPONSE: LINES REPRESENT EXISTING BULKHEAD TO REMAIN.**
  - iii. Fire suppression is shown. **EADP RESPONSE: CORRECT, NEW FIRE SUPPRESION HERE.**

**081785.00 – TEMPE LIBRARY RENOVATION (PROJECT NO. 6702491)**  
**PRE-BID QUESTION SET – ITEM ANSWERS**

---

- iv. No Mechanical Shown, however we will need to modify ductwork. **EADP RESPONSE: PROVIDE BUDGET**
  - v. E103b shows electrical demo. **EADP RESPONSE: SHOWS REMOVAL OF LIGHTING.**
  - vi. E203b shows electrical new work. **EADP RESPONSE: SHOWS NEW LIGHTING IN PLACE.**
  - vii. AV doesn't show any work. **EADP RESPONSE: NO AV WORK IN THIS ROOM.**
  - viii. Shown in Finish Schedule of Specifications. **EADP RESPONSE: WILL REFINISH SPACE PER SCHEDULE.**
- d. **Corridor 3071, 3074, 3083:**
- i. E203b shows new work. **EADP RESPONSE: INSTALLING NEW TRACK LIGHTING PER PLAN**
  - ii. Not Shown in Finish Schedule of Specifications. **EADP RESPONSE: CORRECT, NO FINISH WORK SPECIFIED.**
- e. **Room 3092 (Friends of Library):**
- i. No Work is shown other than Sheet FP203b – **EADP RESPONSE: NO WORK HERE**
  - ii. What is extent of work at this room? **EADP RESPONSE: NO WORK HERE**
  - iii. Not Shown in Finish Schedule of Specifications. **EADP RESPONSE: NO WORK HERE**
2. On A820 in 1/A820 a dark line is shown next to a 3'-5" dimension next to the elevator, what is this line? **EADP RESPONSE IN BOLD CAPS: DISREGARD, STRAY LINE.**

**02411 – Demo**

1. On S101 a new opening is shown at grid intersection 7 & C is shown but not referenced on Architectural or Demo (all others were). **DISREGARD THIS DEMOLITION NOTE FOR THE OPENING REQUESTED ON STRUCTURAL. THERE APPEARS TO BE NO WORK DONE AT THIS LOCATION.**
2. On D102b a new wall opening is cut off the drawings in Room 2026 but shown on Architectural drawings in same area. **DEMO WALL OPENING IS FOR NEW MAKE-UP AIR GRILLE AS SPECIFIED ON MECHANICAL PLAN FOR ROOM 2026.**
3. On D102b (**D101A**) new slab opening per 5/A101 is not shown. **D101A KEYED NOTES '9' AND '25' REFER TO SLAB REMOVAL**
4. Main corridor: it is our understanding that all brick is to be removed (except inside the vestibule) **I AM NOT AWARE OF THIS UNDERSTANDING SO NOTATION EXPLANATION AS FOLLOWS REFLECTS MY CURRENT KNOWLEDGE;** however it is not noted on the sheets. Is it still the understanding that all the brick and granite are to be removed from the inside of the new main entry corridor (Lobby 2020 **NORTH WALL OF CORRIDOR – GRANITE REMOVED ONLY, NO BRICK REMOVAL**), Stair 7 (**GRANITE REMOVAL FROM STAIR OPENING, STAIR TREAD, RISERS – NO BRICK REMOVAL OFF COLUMNS**), and Computer 2051 and rooms (**ONLY BRICK REMOVED IS AT SOFFIT AND TO BE REPLACED BY DETAIL 6/A501' REBUILT SOFFIT DETAIL'**)?

**Division 05**

1. Stairs: can you provide detail for how ¼" (**1/2" – NOTED INCORRECTLY**) break metal with 2" projection attaches to stair side (Reference 10/A304). Can you clarify the details for the side with glass handrail and another detail for side with gypsum wall? **SEE ATTACHED SKETCHES (3 Pages)**
2. Smoke baffle glass thickness-3/8" shown in plan, 1/2" in specs. - Which one should be used? **EADP – LIVERSBRONZE.COM 3/8" BAFFLE GLASS IS TO BE USED**
3. Plans indicate railing posts use direct weld-on attachment to structural angle; specs refer to "snap on bolt covers" possibly indicating a bolt on attachment- which one should be used? **EADP – SNAP COVERS NOT USED, CONNECTION WILL BE WELDED PER PLANS**
4. Handrail says SS (stainless steel) I have a few bids that painted the verticals and a few that made all stainless steel. Can you verify intent? **EADP – RESPONSE: MILL FINISH EVERYTHING EXCEPT RAILING. RAILING TO BE PRICED SS BUT ALTERNATE MILL.**
5. For the angles around the stairs and stair opening they are typical steel but I don't see a paint. **EADP – RESPONSE: CORRECT.** What would you like done with this exposed angle? **EADP – RESPONSE: MILL FINISH ALL METAL AT STAIR COMPONENTS AND OPENING. TYPICAL ALL EXCEPT RAILING. SEE ITEM NO. 1 ABOVE.**
6. For the smoke baffle (Section 2.2 of 05721) most of the handrail bidders did their custom baffle and not one of the two listed in the specifications, is this ok? It doesn't imply closed but just wanted to ask. **EADP – RESPONSE: LIVERS IS OUR PREFERENCE OR THE OTHER MFR. LISTED. A CUSTOM BAFFLE SHOULD BE PRICED ALTERNATE PENDING REVIEW BY OUR FIRM FOR COMPLIANCE TO CODE AS WELL AS AESTHETICS.**
7. Sheet A303, keynote 7 refers to "stainless steel handrails around entire landing" -design intent not shown in plans. Please advice. **EADP – LANDING AT EXTERIOR EDGE TO NOT RECEIVE HAND RAIL, CONTINUOUS HANDRAIL IS AT INTERIOR OF STAIR, DO NOT INCLUDE RAILING HERE AS PLAN SHOWS. CONSTRUCT LANDING WALLS TO BE AT MINIMUM GUARDRAIL HT. OF 42".**

**Division 08 Glazing & Doors**

1. On A602 (both frame type K & J) do not have details for frames, please provide cuts?  
**DETAIL CUTS AT JAMBS – 9/A603, SILLS – 11/A603 AND MULLIONS – 10/A603, TYPICAL BOTH 'J' AND 'K' WINDOW ASSEMBLIES.**
  - a. With K not going to deck how do we fill in the last few feet? **PER DETAIL 9/A603, THIS SHOWS GWB WALL FRAMED ABOVE GLAZING UNIT. TAKE TO DECK. 'P4' WITH SOUND ATTENUATION INSULATION.**
2. On A602 please provide details for head and jamb of doors. **SEE DOOR SCHEDULE AT TOP, THE HEADER, JAMB AND SILL DETAILS ARE LABELED WITH NUMBERS CORRESPONDING TO SHEET A603. ALL DETAILS ARE PROVIDED CURRENTLY.**
  - a. At the head of door is a continuous structural steel member required? **STUD HEADER SHOULD BE FRAMED PER STANDARD ABOVE ALL OPENINGS, AND ALL METAL STUD WORK SHALL BE CONTINUOUS AND NOT SPLICED TOGETHER.**
  - b. Is height of wall at 10'-6" above finished floor enough room for head assembly of door with gypsum wrap? **IN MOST CASES, THE DOORS ARE FRAMED TO 7'-0" AND THE WALL HTS. EXTEND TO 10'-6" AS STATED. THERE IS 3'-6" OF WALL ABOVE THE DOORS WITH ENOUGH SPACE FOR THE GYPSUM WRAP.**

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3. Two (2) entrance areas noted as 501/8 on dwg. A102c
- a. On dwg A501 it appears they want to omit the door & make it a fixed lite. Is this correct? **EADP – DOOR IS NOT OMITTED, NOT A FIXED LITE, PART OF A REBUILT STOREFRONT SYSTEM. DOOR WILL OPERATE PER EXISTING CONDITION.**
  - a. They note bottom lites to be modified glazing. What is the modified glazing? **EADP – MODIFIED GLAZING IS GLAZING REPLACEMENT W/ GLAZING PANELS TO FIT NEW MODIFIED OPENING. TO HAVE SAME CHARACTERISTICS OF EXISTING GLAZING.**
8. One (1) new entry pair of doors #2007-1 on dwg A102c  
On dwg. A501 they show Aluminum break material at top & one side of doors w/insulation. Since the existing glass is 3/4" & the door glass will be 1/4" to match I don't understand the reason behind insulation. I would glaze these openings w/1/4" aluminum sandwich panel to match the bronze finish **EADP- 3/4" SANDWICH PANEL IS FINE, AS LONG AS IT IS SOLID HERE NOT ACTUAL GLAZING PER ELEVATION.** & if they wanted a flat look on the inside I would install aluminum break material to flush out. **EADP- WANTS TO MAKE INTERIOR AND EXTERIOR FLUSH WITH FRAME, SO ADDING BREAK METAL WOULD BE PREFERRED TO DO SO. COLOR TO BE PT-6.** Also, the hardware schedule for these doors (HG9) says to reuse existing Auto Opener but, existing opening is all fixed framing. (No door or hardware) **EADP – HG9-REVISED SCHEDULE**
- 2 HINGES SL24HD**
  - 1 EXIT DEVICE 9100 X CYL**
  - 1 EXIT DEVICE 9100**
  - 2 PULLS 1191-4**
  - 1 CLOSERS 8916 X BP89**
  - 1 AUTOMATIC OPENER ED800-110VAC**
  - 2 SWITCHES FS1 - FRAME MOUNTED**
  - 2 OVERHEAD HOLDERS 1010SL**
  - THRESHOLD 425**
  - 2 SWEEPS 675**
  - 2 DOOR POSITION SWITCHES MC4**
9. I am confused by this hardware schedule as it is showing exit devices 9100 but, his exit device information on spec 08710 page 4 says Corbin ED-5000 series exit devices. **EADP – DISREGARD "CORBIN ED-5000".**
10. Door 1057 is shown as fire rated but the wall assemblies for Corridor 1057 are not shown as rated. Should the door be rated or the wall upgraded to rated? **EADP - DOOR 1057-1 IS NOT RATED, DOWN GRADE RATING TO MATCH OTHERS. DO NOT UPGRADE CORRIDOR TO FIRE-RATING.**
11. Door schedule, I had the bidders get with ASSA but once you review and say it is good I'll make it a scope question to my bidders and have them review later this week. **EADP - I REVIEWED THE DOOR HARDWARE SECTION AS SUPPLIED BY ASSA, AND IT APPEARS THAT THE FIRST GO-AROUND IT LOOKS TO COMPLY WITH WHAT WE HAD BEFORE. THEIR PARTICULAR SPECIFICATIONS CAN REPLACE OUR SECTIONS AS PROVIDED.**  
**NOTE: SECTION 1 IN THAT DIVISION STILL TO REMAIN AS VALID.**
- a. **EADP - WILL RE-ISSUE DRAWINGS AND SPECIFICATIONS AS AMMENDED WHEN THIS EXERCISE IS COMPLETE.**

**Division 09 – Framing:**

1. (4/14) Reference sheet A812 “The Castle” framing is referenced to sheet note #1 which states “ceiling/platform design by CFMF.” Can stud widths and gauges for the walls & platform framing be provided? If not what is anticipated weight for design? **EADP – WEIGHT 600S162-33 @ 16” O.C., SAME FOR EXTERIOR WALLS OF CASTLE AS PLATFORMS. INTERIOR CASTLE CEILINGS ARE 362S162-33 STUDS @ 16 “ O.C.**
2. (4/14) Reference addendum #2 on Page 7 the architect makes several references to a “P4” wall type. “P4” wall types state to extend only to 6” above ceilings and does not call for sound insulation. Please verify if the “A4” wall type which extends to bottom of deck and receives sound insulation **EADP - ‘P4’ SHOULD BE ‘A4’ TYPE TO BOTTOM OF DECK WITH SOUND ATTENUATION BAFFLES. SEE UNDERLINED REVISIONS TO DIVISION 09 – GYPSUM BELOW.**

**Division 09 – Gypsum:**

1. On A101a along grid line K.5 in Room 1029 a wall is shown with no partition type, what is the type? **TO BE ‘A4’ W/ SOUND ATTENUATION INSULATION**
  - a. With the stage being removed should the new well (**WALL?**) also extend and turn the corners of the removed areas (Where storage 1031 is has no back gypsum or partially removed from our notes). **IF YOU ARE REFERING TO ‘WALL’ THEN THE ANSWER HERE IS YES, IT SHOULD EXTEND AND TURN THE CORNERS OF THE REMOVED AREAS.**
  - b. What partition type should be used to re-wrap columns in room 1029 (will be damaged due to state demo). **MATCH EXISTING CONDITIONS THAT REMAIN IN GOOD ORDER.**
2. On A101a between room 1020 and lobby 1032 confirm this is a full height wall, is sound insulation required? Please confirm. **CONFIRMED TO BE ‘A4’ W/ SOUND ATTENUATION INSULATION**
3. On A101a the area with the entry per 1/A820 has wall type F4’s: how does the top of wall terminate at the 10’-6” height with no ceiling on the Teen side? **TO BE ‘A4’ W/ SOUND ATTENUATION INSULATION FOR WALL THAT ADJOINS 1036 ONLY, ALL OTHER WALLS IN THE ENTRY ELEMENT ARE TO BE PER PLAN ‘F4’**
  - a. Although, with the glazing per Window Type J in the same area is shown to existing deck. Should these walls not extend to deck and be F4 similar? **WALL ADJACENT TO TEEN AREA 1036 TO BE ‘A4’ W/ SOUND ATTENUATION INSULATION.**
4. On A101a the wall between gallery 1033 and room 1036 with glazing is wall type A4 (from general note) however all other wall type shown in 1/A802 are shown as F4 (partial height walls with no insulation)? **TO BE ‘A4’ W/ SOUND ATTENUATION INSULATION**
  - a. Confirm the wall type between these two spaces and height. **TO BE ‘A4’ W/ SOUND ATTENUATION INSULATION**

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- b. This is also present between room 1036 and rooms 1035, 1037, & 1038. **TO BE 'A4' W/ SOUND ATTENUATION INSULATION**
5. On Sheet A102a should wall type U1 be added to the wall along grid line G.5 & along the elevator A face? **BECAUSE I AM NOT AWARE OF STRIPPING THE BRICK OFF MAIN CORRIDOR ELEMENTS, MY RESPONSE IS NO CHANGE HERE.**
- a. With exposing the structure along the elevator appears to be brick and a lot of framing per the as-built drawings. With new gypsum soffit per A202a how will this section be constructed? Please provide detail. **NOT AWARE OF STRIPPING BRICK HERE, I DO NOT HAVE KNOWLEDGE OF THIS AT THIS TIME. WILL DRAFT DETAIL. SEE #6 BELOW.**
6. Confirm wall heights and soffit height (not clouds in center) of wall along corridor? Appears from drawings all walls extend to 10'-6" elevation however with elevator bank and limited room above mall front in computing area should these walls and soffit turns all extend to deck? **TAKE ALL SOFFITS AND WALLS FROM FLOOR/DECK OR FROM SOFFIT/DECK THIS AREA ONLY. ALL OTHER CONDITIONS ARE TO EXTEND 6" ABOVE CEILING PER PLAN UNLESS OTHERWISE NOTED.**
7. On Sheet A102b at the wall along grid line B.5 shared by Rooms 2047, 2051, & 2045 should wall type U1 be added with U1 extending up to 14' in 2051? Existing condition is brick that is to "be removed" and in specifications says painted gyp. This is also at the wall along grid 3.5 in room 2045. **DO NOT ADD 'U1' TO 2051, BUT CAN ADD 'U1' TO WEST WALL OF 2047 & WEST/SOUTH WALL OF 2045. EXISTING SOFFIT AT 2051 WINDOW TO BE REMOVED AND REPLACED WITH '6/A501' REBUILT SOFFIT DETAIL.**
8. At Grid intersection B & 8 of the lower level demo sheets we removed the soffit to framing however, on the lower level ceiling sheet we did not add the new gypsum back (new layout cuts this area off), confirm detail 8/A501 be added (see A201a at grid intersection J & 8 for similar instance). **REPLACE ALL SOFFIT DETAIL NUMBERS FROM 8/A501 TO 6/A501 'REBUILT SOFFIT DETAIL', ALL CASES AT DEMO DRAWINGS KEYNOTE '16' AND A201 & A202 LABELED SOFFIT CONDITIONS.**
9. Typical Details:
- a. Provide a detail for edge of hanging gyp ceilings such as computers, youth entry, reading room, etc (is 7/A202(7/A303?) typical of all gyp ceilings)? **IF YOU ARE REFERENCING 7/A303 THEN THE ANSWER IS NO. SOFFITS, CEILINGS IN THESE CASES SIMPLY EXTEND TO 6" ABOVE CEILING, IN MOST CASES UP TO 10'-6" AFFE.**
- b. Need typical details for gypsum soffits, turn-up, etc. Says see structural but no details provided. **GRAEF NEEDS TO PROVIDE A DETAIL FOR THIS. HAVE A CALL INTO THEM FOR THIS.**

**Division 09 – Other:**

1. Lower Level is the typical ceiling trim per Keyed Note Type #2 if not shown? Reference Room 1063 and other locations at this level where not 100% clear on drawings. **IN NO CASES DOES THERE EXIST 'TYPE-1' (KNIFE EDGE) FINISH AT ANY OF**

**THE LOWER LEVEL TRANSITIONS. IF NOT NOTED, THEN IT IS TYPE '2' OR A SOFFIT THAT EXTENDS TO 6" ABOVE CEILING.**

2. At Main Level around stairs along grid line 5 & 4 between E & F and along grid line E between grid line 5 & 4 are double lines. Is this area to just receive carpet or terrazzo? **CPT GOES TO RAIL SYSTEM ON NORTH, WEST, AND SOUTH SIDES OF THE STAIR OPENING, THE LINE PROUD OF THE RAIL DOES NOT SPECIFY MATERIAL CHANGE AND WILL BE REMOVED FROM PLAN FOR CLARITY.**
3. Does terrazzo #2 go in the small area between vestibule 2017 & 2018? **YES, TZ-4**
4. Resin Panel Walls; confirm (since no dimensions for exact layout provided) that these are under the 8' gypsum ceiling. **A813 DETAILS THESE PANELS. THE SYSTEM DOES IN FACT RESIDE BELOW THE 8'-0" CEILINGS.**
  - a. Will additional framing be required for the resin panel posts? **FRAMING IN CEILING ELEMENTS SHOULD BE BEEFED UP AT LOCATIONS WHERE THE PRESSURE ASSEMBLIES PRESS AGAINST THE CEILING FOR FIT.**
5. Entrance Mat 2021 – Just match what is existing right? **EADP - MATCH EXISTING, CORRECT.**

**Division 21 – Fire Sprinklers:**

1. Under 1.3 System Description Item F references Halon System in server room. Is this part of the project and if so where is the server room? **GRAEF - THE HALON SYSTEM AND BEEN VALUE ENGINEERED OUT OF THE PROJECT. DISREGARD ALL REFERENCES TO REPLACING THE SYSTEM. THE EXISTING HALON SYSTEM WILL REMAIN**
2. As a rule are all ceiling to receive a hard lid to receive a concealed head, open areas upright head, and typical the semi recessed head? A few hard lid locations do not show which head and want to make sure we include proper type. **EADP RESPONSE: REFER TO THE SCHEDULE ON FP201A FOR TYPES. FOLLOW THE FIRE PROTECTION PLANS. WHERE TYPES ARE OMITTED AT GWB AND ACS LOCATIONS, USE TYPE '2'.**
3. Sheet FP201c:
  - a. Between grid lines 3.5 & 3 and G.2 & G.5 a note #2 referenced in the exterior overhand. Are we required to add or remove heads at this location too? **EADP RESPONSE: REMOVE THIS FROM TAKE-OFF; NO EXTERIOR WORK IS BEING DONE.**
  - b. In Room 1031 the heads are shown as note #1 (upright head), however the reflected ceiling plans per A201a and room finish schedule reference ACS-1. Which is correct? **EADP RESPONSE: WHERE ACS-1 EXISTS PER REFLECTED CEILING PLAN, TYPE '2' SHOULD BE SHOWN.**
4. Sheet FP202c:
  - a. At Room 2051 three notes #2's are shown between grids 5 & 4 should these be not #6's as per the rest of the hall? **EADP RESPONSE: CORRECT, THESE HEADS LABELED '2' SHOULD BE LABELED '6', TOTAL OF (3) COUNTED.**
5. Sheet FP203b:
  - a. At room 3092 no work is shown on the Architectural drawings is this work for fire suppression a requirement? **EADP RESPONSE: NO WORK HERE.**

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- b. No work is shown on Demo Sheets or the Architectural Sheets. **EADP RESPONSE: NO WORK HERE.**
6. Fire Suppression:
- a. Due to system design I am getting a lot of bidders with questions of extended heads are not possible. Most are only going to bid as standard heads. Reason have been given is the current system is design only for standard heads and if we use extended heads the Whole system would have to be re-calculated and possibility that pressure may not be enough in main system and mains/laterals (however most say should be ok but they cannot be sure until re-calculate which will cost). Thoughts? **GRAEF RESPONSE: THE FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR THE FINAL DESIGN OF THE PROJECT. BASED ON THE INFORMATION ABOVE WE SUGGEST THAT THE CONTRACTORS BID THE PROJECT USING STANDARD HEADS AND ASK FOR AN ALTERNATE BID PRICE TO PROVIDE EXTENDED COVERAGE HEADS. IT'S BETTER TO GET AN IDEA OF WHAT THAT NUMBER IS NOW THAN TO WAIT UNTIL THE CONTRACT HAS BEEN AWARDED.**

**Division 22 – Plumbing:**

1. Water heater – need to look into myself but specifications say new water heater and drawing say moved. Which is correct? **GRAEF RESPONSE: WATER HEATER IS NEW (SEE PLUMBING EQUIPMENT SCHEDULE)**
- a. Also – specifications say residential water heater but should it not be commercial? **GRAEF RESPONSE: THE WATER HEATER THAT IS SCHEDULE IS A RESIDENTIAL WATER HEATER. THE HEATER COMES WITH A 5 YEAR WARRANTY. COMMERCIAL WATER HEATERS DO NOT TYPICALLY COME IN A 40 GALLON SIZE.**
2. Drinking fountain – they have integral chillers but some are telling me that some part of documents say isolated. Thought? **GRAEF RESPONSE: REMOTE CHILLERS ARE PROVIDED FOR THE NEW DRINKING FOUNTAIN'S DISREGARD THE GALLON PER HOUR INFORMATION LOCATED IN THE PLUMBING FIXTURE SCHEDULE**

**Division 23 – HVAC:**

1. Duct cleaning specification section 3.2-A,P, & Q says to remove duct liner from existing to remain supply ducts serving 1<sup>st</sup> and 2<sup>nd</sup> floors before biocide cleaning. There is no mention of cleaning ducts on lower level, will this be required also, and what methods would be acceptable to remove the liner from inside of ducts. This could be very difficult and time consuming; does new liner need to be reinstalled? It seems a greater expense than brand new duct for these areas. Also are we to clean entire second floor? **GRAEF - THIS EXISTING DUCT CLEANING HAS BEEN VALUE ENGINEERED OUT OF THE PROJECT. PLEASE DISREGARD SPECIFICATION SECTION 23 01 30 IT HAS BEEN REMOVED FROM THE SCOPE.**

**Division 26 - Electrical / Low Voltage:**

**NOTE TO 'IT' AND 'AV' BIDDERS: UNDER THE ARCHITECTURAL BUDGET FOR THIS BUILDING, ALL 'IT' AND 'AV' BIDS ARE TO PROVIDE PRICING FOR CONDUITS, RACEWAYS, AND JUNCTION BOXES FOR THE SCOPE OF WORK. WHAT IS NOT TO BE INCLUDED IN THIS BUDGET PRICE IS CABLING, JACKS, DATA JACKS, ETC. FOR CLARIFICATION, THE AV30X DRAWINGS SHOW THE DATA OUTLETS WHERE THE AV SYSTEMS NEED CONNECTIVITY TO**

**THE LAN. THESE ARE TYPICAL DATA OUTLETS AND IT CABLING (CAT 5, CAT 6, OR OTHER TWISTED PAIR CABLE TYPES) THAT ARE INSTALLED WHEN THE REST OF THE BUILDING DATA OUTLETS AND IT CABLING ARE INSTALLED BY THE CONTRACTOR (NOT IN THE CURRENT BUDGET) THAT INSTALLS THE BUILDING DATA OUTLETS AND IT CABLING. THESE ALL NEED TO BE INSTALLED AND CERTIFIED AS PART OF THE STRUCTURED CABLING PLANT FOR THE BUILDING. THE AV CONTRACTOR DOES NOT INSTALL ANY DATA OUTLETS OR IT CABLING. THE AV CONTRACTOR WOULD ONLY PROVIDE STANDARD, OFF THE SHELF, JUMPER CABLES TO CONNECT THE AV SYSTEM TO THOSE DATA OUTLETS. (NOT IN THE CURRENT BUDGET).**

1. We are familiar with City of Tempe specifications; I wanted to confirm that this building will use the same specifications: Krone Cat 6 TrueNet cable and connectivity. **OCC NOT ANSWERED.**
2. Please identify backbone requirements between **COT 'IT' WILL BE RESPONSIBLE FOR ALL BACKBONE INFRASTRUCTURE UNDER SEPARATE BUDGET.**
  - a. Copper pair count (25 pair, 50 pair, etc)
  - b. Fiber (12 strand, 24 strand, etc)
  - c. Fiber connectors (LC, SC, ST)
3. Please identify the backbone coming into the building **COT EXISTING.**
4. Will the electrical contractor be providing the fire rated plywood back boards? **OCC - ELECTRICAL CONTRACTOR TO PROVIDE**
5. The prints do not identify a cable tray system. Do you have requirements for a cable tray system or is J-hooks acceptable? **COT RESPONSIBILITY UNDER SEPARATE BUDGET.**
6. Prints do not identify closet build outs. **COT TO BUILD OUT ROOMS.**
  - a. Do you require one (1) rack per closet?
  - b. Do you require Horizontal wire managers?
  - c. Do you require vertical wire managers?
  - d. Do you require ladder rack in the IDF and MDF's?
7. Will the electricians be providing sleeves? If so, will they be responsible for fire stopping? **OCC - CONTRACTOR WHO PENETRATES A FIRE RATED WALL WILL BE RESPONSIBLE, IN THIS CASE PERSON PULLING WIRES WILL BE RESPONSIBLE. ELECTRICAL CONTRACTS SHALL PROVIDE ALL BACKBONE FOR LOW VOLTAGE (THIS INCLUDES SLEEVES, CONDUITS, BOXES, ETC).**
8. Please identify the deck height? **OCC - SEE AS BUILTS FOR EXACT BUT 14' FLOOR TO FLOOR IS TYPICAL.**
9. Please identify if it is a plenum or PVC cable environment? **GRAEF ELECTRICAL - PLENUM CABLE IS REQUIRED.**
10. Please provide clarification on the ceiling mount network drop. Are these homeruns to the IDF or MDF's? **COT TO PULL ALL VOICE AND DATA CABLE UNDER SEPARATE BUDGET.**
11. The A/V sheets (AV801 & AV802) call for raceways to be ran "to data closet via nearest cable basket or pathway". I haven't found any cable tray or "pathways" should we assume that the raceways will be hard-piped all the way to the closets? **TSG: WE CALL OUT TO CONNECT THE NEAREST CABLE BASKET OR PATHWAY TO GET ROUTING TO THE NEAREST DATA CLOSET. THIS IS MEANT TO SUPPORT THE LAN CONNECTIVITY REQUIRED FOR THE AV SYSTEM. THAT CONNECTIVITY CAN BE**

**PROVIDED BY WHATEVER MEANS IS BEING DESIGNED FOR THE STRUCTURED CABLING SYSTEM/PATHWAY FOR THE BUILDING.**

12. Should we include Fire Alarm in our scope? **OCC - BREAK-OUT IF PRICE**
13. Is the F/A to be in conduit or plenum rated? **GRAEF - CITY OF TEMPE FIRE INSPECTOR JIM WALKER STATED THE FIRE ALARM SYSTEM WIRING DOES NOT NEED TO BE IN CONDUIT. FIRE ALARM CABLING LISTED FOR FIRE ALARM SYSTEMS IS ACCEPTABLE TO USE.**
14. This may have been answered at the Library but just to clarify: who will ultimately be responsible for removal (from site) and disposal of demolished light fixtures (lamps & ballasts)? What we took from the building was that it would be the Electrical Contractor's responsibility, but wanted to clarify. **OCC – ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DEMO. THIS ALSO APPLIES TO MECHANICAL, FIREPROTECTION, PLUMBING OR ANY OTHER SCOPE THAT HAS DEMO SHOWN OUTSIDE DIVISION 02.**
15. Can you tell me where to find the description of the bid break out is to be found? How should we divide up items like lighting control and additional switch gear which will effect multiple areas? **OCC – OTHER THAN THE ALTERNATE FOR 2<sup>ND</sup> FLOOR OTHER THAN ITEMS THAT OTHERS MAY PICK-UP NO BREAKDOWN IS REQUIRED.**
16. (4/14) The drawing for the AV cables show the cable count for each location but the voice and data drawings don't show the cable count, what is needed at each location? **COT TO PULL ALL VOICE, DATA, AND CABLE TO AV LOCATIONS TBD.**
17. (4/14) Is the AV section (cable) being provided by an AV contractor? **TSG: THE AV EQUIPMENT AND THE AV SPECIFIC LOW VOLTAGE CABLING IS INSTALLED BY AN AV CONTRACTOR AS AN INTEGRATED SYSTEM. THE AV SPECIFIC LOW VOLTAGE CABLING IS WHAT CARRIES THE AUDIO, VIDEO AND CONTROL SIGNALS BETWEEN AV EQUIPMENT ONLY. THE AV CONTRACTOR DOES NOT INSTALL ANY 'IT' CABLING (CAT 5, CAT 6, OR OTHER TWISTED PAIR CABLE TYPES).**
18. (4/14) Some of the training and office areas on the voice and data drawings don't have any locations defined (drawing E301c, E302a and E303b) are cables needed in these rooms? **GRAEF ELECTRICAL - THIS QUESTION IS FOR THE CITY OF TEMPE IT DEPARTMENT. PLEASE PROVIDE THEIR IT DEPARTMENT WHICH SPECIFIC ROOMS THAT IS IN QUESTION.**
19. (4/14) Are there security devices in contract for Tempe library (ex. Access control, cctv or alarm systems)? **GRAEF ELECTRICAL - THIS QUESTION IS FOR THE CITY OF TEMPE (OWNER) WHO IS COORDINATING THE INSTALLATION OF THE SECURITY SYSTEM.**
20. (4/14) Should we incorporate the following changes as Per City of Tempe request and as stated below (e-mail 4/13/09):
  - a. Page E301a. Room 1001, No telecommunications in this room. Ground not needed. **GRAEF ELECTRICAL – THE GROUND WAS REMOVED AND WAS UPDATED IN THE BID DOCUMENTS DATED 3-31-09.**
  - b. Page E301a. Room 1007, only need (2) 3" conduit sleeves. Not 4. **GRAEF ELECTRICAL – BID DOCUMENTS SHOW NO CONDUIT SLEEVING. WILL ADD (2) 3" SLEEVES**
  - c. Page E302c. Detail 2. Work shown should be in room 2026 not 2027. We are building a new IDF in what is now a storage room. **GRAEF ELECTRICAL – THE**

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**LOCATION OF THE TELECOMM ROOM IS SHOWN CORRECTLY IN THE BID DOCUMENTS.**

- d. Page E302c. Detail 2, E302c, Work shown should be on WEST wall of room 2026. Not east as shown. **GRAEF ELECTRICAL – THE BID DOCUMENTS SHOW THE EQUIPMENT ON THE EAST WALL. GRAEF WILL RELOCATE THE EQUIPMENT TO THE WEST WALL.**
- e. Office 2033, Move data on east wall to 2032 west wall for 2<sup>nd</sup> workstation. **GRAEF ELECTRICAL – THE BID DOCUMENTS DATED 3-31-09 SHOW NO DATA ON THE EAST WALL OF OFFICE 2033 AND OFFICE 2032 HAS A DATA JACK SHOWN ON THE WEST WALL.**
- f. Study room 2038, remove data drop. **GRAEF ELECTRICAL – BID DOCUMENTS DATED 3-31-09 SHOW DATA DROP REMOVED.**
- g. Study room 2039, remove data drop. **GRAEF ELECTRICAL – BID DOCUMENTS 3-31-09 SHOW DATA DROP REMOVED.**
- h. Study room 2041, remove data drop. **GRAEF ELECTRICAL – BID DOCUMENTS 3-31-09 SHOW DATA DROP REMOVED.**
- i. Copy center 2052, remove two of the data drops on west wall, one on east wall. **GRAEF ELECTRICAL – BID DOCUMENTS SHOWS ONE DATA DROP ON THE WEST WALL AND ONE ON THE EAST WALL, PLEASE ADVISE IF CORRECT?.**
- j. Family computing 1020, remove 2 data drops at west wall opposite rest rooms. **GRAEF ELECTRICAL – BID DOCUMENTS DATED 3-31-09 SHOW DATA DROPS REMOVED.**
- k. Room 1051, four 3" sleeves not needed. **GRAEF ELECTRICAL – BID DOCUMENTS DATED 3-31-09 DO NOT SHOW 3" SLEEVES**
- l. Meeting room 1056, remove two data drops on west wall. **GRAEF ELECTRICAL – BID DOCUMENTS DATED 3-31-09 SHOW ONE DATA DROP ON THE WEST WALL**
- m. On Sheet AV002 Type A for Room 2046 is not shown on the floor plans, is it required? **RM 2046 SKIPPED.**
- n. Who is going to give us the AV specifications for bid? **USE BUDGET AMOUNT. THERE ARE NO PIECES OF EQUIPMENT, NOR SECURITY SYSTEMS TO SPECIFY. JUST A BUDGET VALUE.**

**Architectural Questions:**

- 1. Detail 8/A501 is used twice on this sheet once for "Diagram for Typical Storefront Replacement & Modifications" and "Rebuilt Soffit Condition" **EADP RESPONSE: DETAIL IS NOT CORRECTLY NUMBERED, IT SHOULD READ 6,9/A501, 6 BEING THE SOFFIT AND 9 BEING THE SILL CONDITION.**
- 2. Detail 8/A501 is also used at non-modified storefront through-out the building, what is not to be included at these locations (See A201 & A202 Sheets)? Only two walls with storefront modifications as shown are from Reference Room 2008 to Reading Deck and Reading Room 2012 to Reading Deck (2 Locations). **EADP RESPONSE: ONLY (2) STOREFRONTS ARE BEING REBUILT TO THE NORTH OF 'REFERENCE ROOM – 2008' AND 'READING ROOM – 2012' DISREGARD ALL OTHER STOREFRONTS MODIFICATION ANNOTATIONS ON ALL SHEETS.**

**PART II - REVISIONS TO THE DETAIL MANUAL**

**Floor Finish Schedule:**

1. Need to Add Bathrooms 1024 & 1024 (1023?) w/Vestibules to Finish Schedule (Floor Tile, Wall Tile, Wall Paint, & Ceiling Paint). **ALTHOUGH NOT IN THE SPECIFICATIONS SCHEDULE, THE AREAS NOT ON SCHEDULE ENTRY LEVEL ROOMS CORRESPONDS TO LOWER LEVEL FINISHES AS FOLLOWS: 2016 CORRESPONDS TO 1024, 2015 TO 1023, 2017 TO 1026 AND 2018 TO 1025.**
2. Need to add corridor 1043B to finish schedule – Show Carpet (CPT-1) **CORRIDOR 1043B FLOORING AND BASE IS THE SAME AS 1035, NO PAINTING OR CEILING UPGRADES IN 1043B.**

**02411:**

1. A lot of walls are dashed that should be removed but not detailed or noted as typical. What is extent of demo as a general rule of thumb? **EADP RESPONSE: ALL ITEMS SHOWN IN DASH WILL BE DEMO**
2. Work on 2<sup>nd</sup> Floor is not referenced if we are going to perform. **EADP RESPONSE: DEMO WORK HERE, ONLY ACCOUSTICAL TILE & LIGHTING IN RMS, 3075 & 3078, CABINETS & PLUMBING IN 3077. ALL WORK IS AN ALTERNATE ON 2<sup>ND</sup> FLOOR EXCEPT CARPET REPLACEMENT.**

**06000:**

1. Division 6 in specifications should be “Wood & Plastic” right not “Thermal & Moisture” as stated for 6 & 7? **EADP - DIV 6 IS WOODS & PLASTICS, DIV 7 IS THERMAL & MOISTURE. WILL AMEND WHEN THIS PHASE OF BIDDING IS COMPLETE.**

**09772:**

1. In Division 06 Fabric-Wrapped Panels is shown as 09771 however the table of contents lists as 09772 please clarify. **TABLE OF CONTENTS (TOC) SHOULD READ 09771**

**09300: (SHOULD BE 09290)**

1. The finish of Drywall is Level 4 per specification but at the locations where old wall are to be left “as is” how do we tie the finish? We are assuming that the old finish if we patch will be match but all new walls will be level 4 is this correct? **EADP RESPONSE: ALL NEW FINISHES MATCHING EXISTING THROUGHOUT UNLESS SPECIFICALLY CALLED OUT.**

**10440:**

1. In Division 10 Fire Protection Specialties is shown as 10441 however the table of contents lists at 10440 please clarify. **TABLE OF CONTENTS (TOC) SHOULD READ 10441**

**11310:**

1. Is the Residential Appliances per 11310? I saw one under counter fridge at the 2<sup>nd</sup> floor is that where it goes?” **EADP - HERE’S OUR TAKE: ROOM 1055 ‘CAC WORKROOM’ HAS ONE LABELD ON CIRCUIT REF., 11 REFERENCED E301C (PANEL BOARD P1BB E604), ROOM 1062 ‘CATERING’ HAS ONE LABELED REF., 26 E303B (PANEL BOARD P1C E604),**

**AND ROOM 3077 UC REF, USING SAME CIRCUIT AS EXISTING PROBABLY LOCATED ON P3C PANEL BOARD. ALL FULL SIZE REF. ARE BY OWNER PER NOTE '9' ON THE 800 SERIES DRAWINGS. THE ONLY ON UC REF. IS THE ONE IN 3077, AND THAT WILL BE BY OWNER AS WELL.**

**22 05 00:**

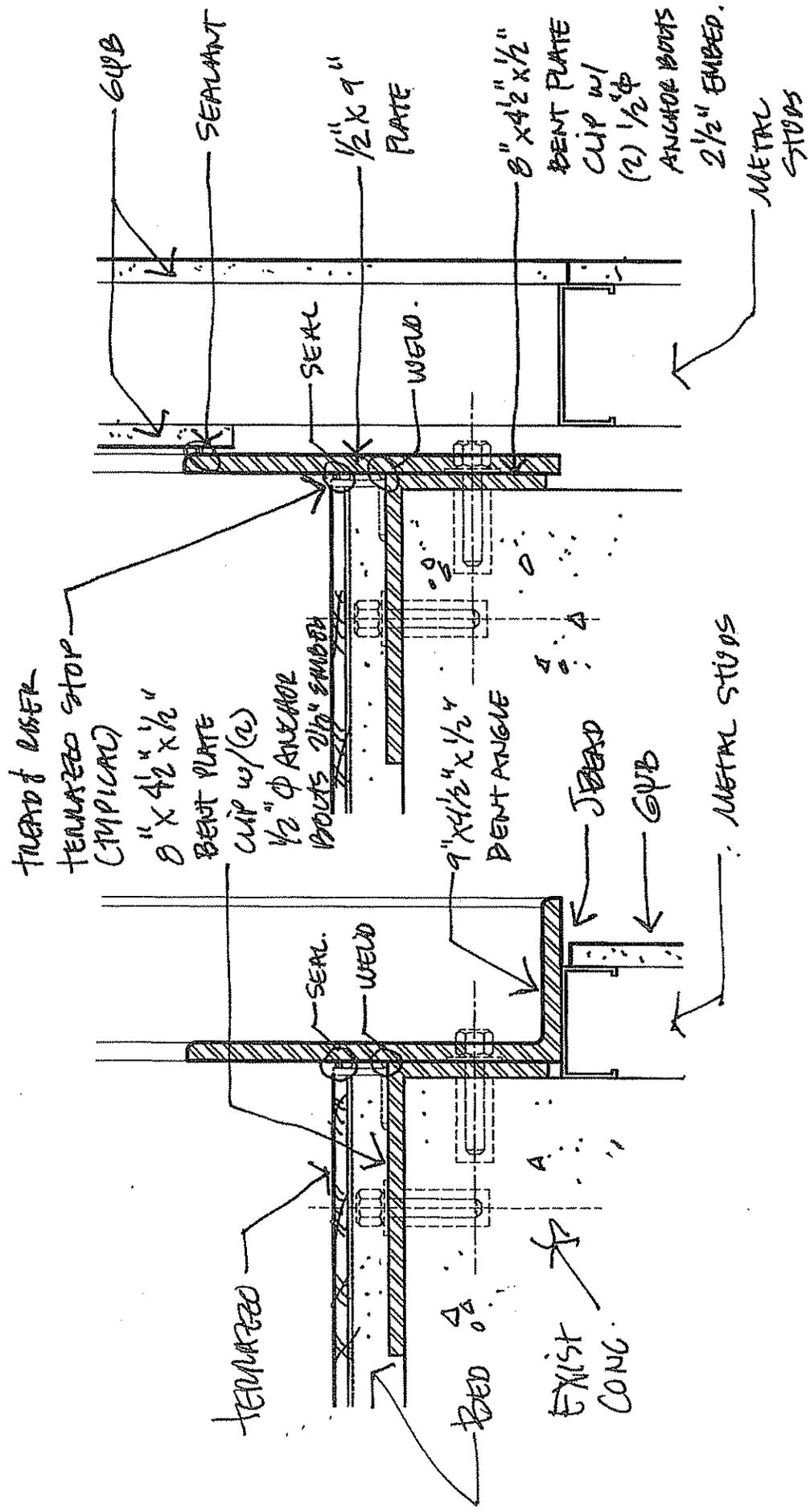
1. For Bathrooms 1024, 1023, 2016, & 2015, existing plumbing fixtures & partitions are shown to be left in-place. For us to re-tile the bathroom & replace the drywall walls although going to be re-used we need a note that the fixtures are to be removed & stored on-site while renovations then fixtures are to be re-installed in same locations. See P201 & P202 for locations but not as specific with fixtures as other locations of the drawings. **EADP RESPONSE: DEMO NOTE #34 ON SHEETS D101A & D102A REFERS TO REMOVING PARTITIONS, TOILETS, AND URINALS TO BE STORED AND REINSTALLED. SINKS, COUNTERS TO BE REMOVED AND REPLACED WITH NEW PER PLUMBING PLAN P201, P202 SEE NOTE '1' ON DETAILS 2/P201 AND 2/P202.**

**Other:**

1. Did not see any work for new carpet & base as required on 2<sup>nd</sup> floor. Will need some guidance by team on what material we should price. A floor plan would be great for the bidding documents too. **EADP RESPONSE: PRICE CARPET AND BASE FOR ROOMS 3075 & 3078, ALL OTHER FINISHES ARE ALTERNATE.**
2. Furniture, cannot find any information on for bidding. Are we just using the current budget? **EADP RESPONSE: REFER TO FURNITURE BUDGET.**
3. IT and AV, has any new information been provided from the City? **EADP RESPONSE: NONE TO DATE (4/8/2009).**

END OF ADDENDUM

Attachment F



TREAD USER  
 TERNARO STOP  
 (TYPICAL)  
 8" X 4 1/2" X 1/2"  
 BENT PLATE  
 CLIP w/ (2)  
 1/2" Φ ANCHOR  
 BOLTS 2 1/4" EMBED

TERNARO  
 BED OF  
 EXIST  
 CONG.

SEAL.  
 WELD.  
 9" X 4 1/2" X 1/2"  
 BENT ANGLE  
 JERAD  
 GVB

SEALANT  
 1/2" X 9"  
 PLATE  
 8" X 4 1/2" X 1/2"  
 BENT PLATE  
 CLIP w/  
 (2) 1/2" Φ  
 ANCHOR BOLTS  
 2 1/2" EMBED.

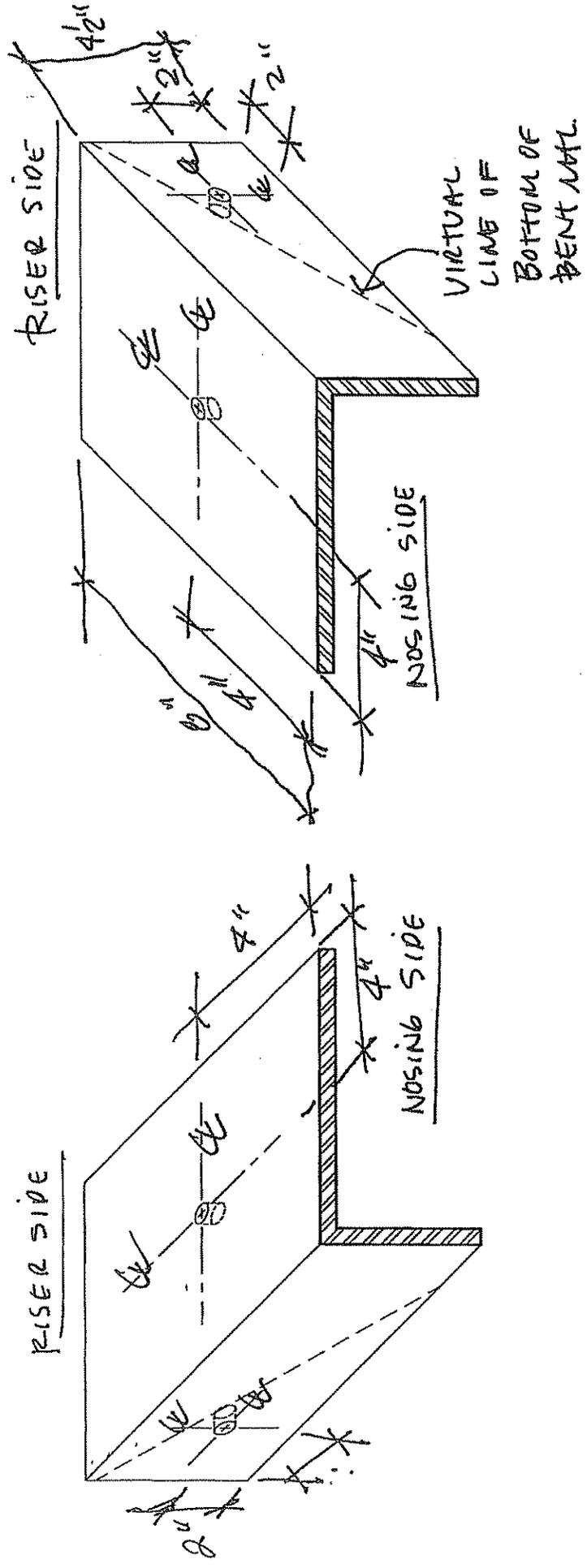
SECTION DETAIL  
 TREAD CLIPS  
 SCALE 3" = 1'-0"

GWB WALL

COARSE RAIL

081705 TERNARO PUBLIC LIBRARY

Attachment F



LEFT

RIGHT

ISOMETRIC

TREAD CUPS

SCALE 3" = 1' 0"

ZUGBERG ANDERSON

081785 TEMPE PUBLIC LIBRARY.

Attachment F

