

Staff Summary Report

City Council Meeting Date: 10/16/08

Agenda Item Number: 50

SUBJECT: This is the second public hearing for a General Plan Amendment, Zoning Map Amendment, and a Planned Area Development Overlay for THE ELEMENT @ ASU, located at 1949 East University Drive.

DOCUMENT NAME: 20081016dsr102

PLANNED DEVELOPMENT (0406)

SUPPORTING DOCS: Yes

COMMENTS: Request for **THE ELEMENT @ ASU (PL080041)** (JLB Tempe LLC, property owner; Angie Rawie, JLB Partners, applicant) consisting of a new 215 unit student housing complex with 10 live/work units, including an internal parking garage. The building consists of 4 stories within approximately 132,000 s.f. of total building area on 6.35 acres, located at 1949 East University Drive in the R-4(PAD) District. The request includes the following:

GEP08004 – (Resolution No. 2008.80) General Plan Land Use map amendment from "Residential" to "Mixed-Use", a Projected Residential Density map amendment from "Medium to High Density" (up to 25 du/ac) to "High Density" (greater than 25 du/ac).

ZON08006 – (Ordinance No. 2008.46) Zoning Map Amendment from R-4(PAD), Multi-Family Residential General District to MU-4, Mixed-Use High Density District.

PAD08012 – Amended Planned Area Development Overlay to modify the development standards to allow for a building height increase from 46 feet to 60 feet; reduce front yard building setback from 20 feet to 5 feet; and a density increase from 25 units/acre to 35.4 units/acre.

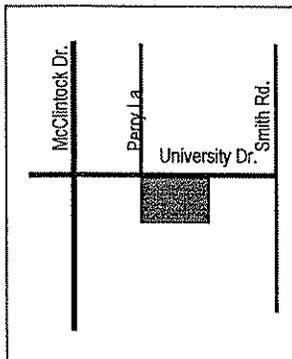
PREPARED BY: Ryan Levesque, Senior Planner (480-858-2393)

REVIEWED BY: Lisa Collins, Development Services Planning Director (480-350-8989)
Chris Anaradian, Development Services Manager (480-858-2204)

LEGAL REVIEW BY: N/A

RECOMMENDATION: **Staff – Approval, subject to conditions**
Development Review Commission – Approval (7-0 vote)

ADDITIONAL INFO:	Gross/Net site area	6.35 acres
	Residential Building area	93,487 s.f. (38,274 s.f. garage)
	Dwelling units	225 units, 640 beds (includes 10 live/work units)
	Density	35.4 du/ac (Per PAD 25 du/ac max.)
	Lot Coverage	48% (60% max.)
	Building Height	60 ft (Per PAD 46 ft max. allowed)
	Building setbacks	5' north, 10' west, 9' east, 10' south (Per PAD 20' north, 10' west, 9' east, 10' south min.)
	Landscape area	32% (25% min. required)
	Vehicle Parking	707 spaces (585 min. required)
	Bicycle Parking	246 spaces (246 min. required)



A neighborhood meeting was held on June 30, 2008 with this application.

PAGES:

1. List of Attachments
- 2-4. Comments / Reason for Approval
5. Conditions of Approval
6. Project Data
7. History & Facts / Zoning & Development Code Reference

ATTACHMENTS:

1. Resolution No.2008.80
2. Ordinance No. 2008.46
- 3-4. Waiver of Rights and Remedies form
5. Location Map(s)
6. Aerial Photo(s)
- 7-11. Letter of Explanation
- 12-15. General Plan Maps
16. Neighborhood Meeting Summary
- 17-18. Site Plan
- 19-33. Floor plan types
- 34-38. Floor Levels
- 39-40. Building Elevations
- 41-42. Landscape Plan
43. Preliminary Grading & Drainage Plan

COMMENTS:

This site is located on the south side of University Drive a quarter mile east of McClintock Drive. The site currently consists of over 6 acres of vacant land. Previous uses on the site included an old auto body shop and some residential homes, which were once a series of rental cottages. The vacant site is surrounded by a townhome development to the west and south and an apartment complex to the east. New construction office/commercial development is located on the opposite side of University Drive.

Previous Approvals

This site has previously received approval from City Council on January 4, 2007 for a zoning map amendment from R/O, CSS and R-3 to "R-4, Multi-Family Residential General District", for a previous development consisting of 156 condominium units and a Planned Area Development Overlay in order to modify general development standards of the R-4 District. Those specific modifications included a maximum building height from forty (40) feet to forty-six (46) feet and an east side yard setback reduced from ten (10) feet to nine (9) feet. The Development Review Commission approved the previous Development Plan Review in February of 2007, which has now since expired.

The new applicant (JLB Partners) in process of acquiring the site, applied for a new development plan, approved by Development Review Commission on April 8, 2008. The proposal consisted of a 158 unit student housing complex (435 beds), within a three-story building and an exposed parking structure at the southwest corner of the site. The site configuration was very similar to the new proposal.

Project Analysis

The new request now includes a 215 unit multi-family, student housing development and 10 live/work units, consisting of a total of 640 bedrooms within a four story building. The development is designed to offer a residence-living environment that provides a secured property with exclusive amenities of two internal courtyards with a volleyball court, pool, ramadas, and lush landscape combined with open area turf. Interior amenities include a fitness room, club room, computer labs and study rooms, and a community function room. The housing development has two vehicular access points off of University Drive at the east and west ends of the property. The primary access to the site is on the west end, which includes the leasing office and call box for visitor access. Ingress and egress is provided on the east side with automated gate access only. The six level parking garage for the development, is now internally wrapped with housing units, accessible on the south side of the building, providing a greater distribution of vehicular access from the east and west entrances. Pedestrian access through the student housing complex is provided through a series of carriage entry ways, through the parking structure, or at stairwell access points located at the exterior of the buildings and along the street front. A new bus shelter pad stop will be relocated to this site as part of this proposal.

Landscape

The landscape plan includes approximately 32% of total on-site landscape, consisting of some perimeter trees with parking islands, landscape along the building perimeter, and interior courtyards. University Drive at its existing street curb location, has ample right-of-way for the opportunity to provide a tree-lined landscape buffer, providing more pedestrian friendly separation from automobiles. In lieu of perimeter landscaping, the project intends to provide additional landscape islands between parking spaces, approximately ten (10) trees, along the parking aisle. A condition of approval has been added to ensure the proposed islands provide trees and address any conflicts with lighting at these locations.

GENERAL PLAN

The applicant has provided a written justification for the proposed General Plan amendment. See related attachments.

Land Use Element:

The land use projected for this site is "Residential". The applicant is proposing to modify this land use to "Mixed Use" in order to request the MU-4, Mixed-Use High Density District. The mixed use land category encourages creatively designed developments which create a living environment, reflective of a village concept, in which there is the opportunity to live, work and recreate in the same development or within the area. This request proposed provides an integration of live/work space (10 units) and multi-family residential intended for student housing living all on one development. The live/work units front on University Drive with pedestrian access at the front as well as internal access from the corridors. Each of the live/work units has a dedicated area for business activity and a second floor for the residence living space. This layout supports an environment that can equally provide housing while allowing an area with limited amount of outside employees. The remaining residential units are intended for the student housing whereby residents may rent bedrooms individually.

The General Plan Projected Residential Density for this site is currently "Medium to High Density" (up to 25 dwelling units per acre). The previous two requests were consistent with this density designation and with the surrounding neighborhood. The applicant is now requesting a residential density change to "High Density" (greater than 25 dwelling units per acre) to allow for a proposed density of 35.4 units per acre. The high density category encourages compact residences having limited private outdoor space with access to common open space for recreation. Proximity to amenities and configuration of residences encourages resident interaction. This level of intensity should promote a village environment with easy access to goods and services, business and recreation.

ZONING

The applicant is requesting a zoning map amendment from R-4, Multi-Family Residential to MU-4, Mixed-Use High Density District. The previous proposal was consistent with General Plan Projected Land Use and Projected Residential Density maps. The proposed increase in density (35.4 du/ac) now requires the applicant to request a General Plan Map amendment as a result of the zoning designation. As required, for the MU zoning districts both residential and commercial components are required. The applicant is proposing 10 live/work units for this development.

PLANNED AREA DEVELOPMENT

An Amended Planned Area Development Overlay is proposed for this project as a result of the MU-4 designation. Below is a chart outlining proposed changes in standards related to density, height and front yard setback:

Development Standards for Element @ ASU		
Standard	PREVIOUS R-4 (PAD)	PROPOSED MU-4 (PAD)
Residential Density (DU/acre)	25 du/ac	35.4 du/ac
Building Height (feet)		
Building Height Maximum	46 ft	60 ft
Building Height Step-Back Adjacent to SF or MF District	Yes	Yes
Maximum Lot Coverage (% of net site area)	39% (60% max)	48% (no change in max)
Minimum Landscape Area (% of net site area)	39% (25% min)	32% (no change in min)
Setbacks (feet)		
Front	20 ft	5 ft
Side	10 ft west / 9 ft east	No change
Rear	10'	No change

Public Input

A neighborhood meeting is required for this application pursuant to the Zoning and Development Code requirements. On June 30, 2008 a neighborhood meeting was held by the applicant at the Escalante Center at 6 pm. Staff was in attendance at the meeting. The applicant provided a site plan board with representatives from the design team and the developer available. Only one outside member of the public attended the meeting, a student evaluating the meeting for a class assignment. The applicant did meet with a few residents of the adjacent townhome association prior to the meeting to discuss comments. See attached summary of meeting provided by the applicant.

At the Development Review Commission hearing four members from the public spoke on the request, which two were in support and the other two had potential concerns. Concerns noted by the public from residents at the neighboring Papago Park II Townhomes included comments such as, increased height from the original project from three stories to four stories; security; and potential loss of rental tenants at existing complexes.

Conclusion

This development provides a student housing product unique from the standard apartment complexes. The design provides a variety of on-site amenities for residential life. The building elevation design is contemporary and provides relief with variations in building depth, color and materials that complement one another, while establishing a unique housing product and design at the street front. The project will continue the development pattern of residential use on the south side of University Drive. The project should comply with the goals and element objectives of the General Plan 2030 and the approval criteria established for such a request in order to further support the zoning map amendment request and related amendment to the PAD. Staff recommends approval of this request subject to the provided conditions of approval.

REASONS FOR APPROVAL:

Section 6-303 D. Approval Criteria for General Plan Amendment:

1. Appropriate short and long term public benefits;
2. Mitigates impacts on land use, water infrastructure or transportation;
3. Helps the city attain applicable objectives of the General Plan;
4. Provides rights-of-way, transit facilities, open space, recreational amenities or public art;
5. Any potentially negative influences are mitigated and deemed acceptable by the City Council; and
6. The result of the appropriateness of the amendment is determined with regard to market demands, and impacts on surrounding area, service, fiscal, traffic, historic properties, utilities and public facilities.

Section 6-304 C.2. Approval criteria for Zoning Map Amendment:

1. The proposed zoning amendment is deemed necessary to best serve the public interest and the health, comfort, convenience, safety, and general welfare of the city.
2. The proposed zoning amendment conforms with and facilitates implementation of the General Plan.

Section 6-305 D. Approval for PAD:

1. The proposed land uses multi-family housing and live/work units are allowed in Part 3, Permitted Land Uses and are required components of the mixed use designation.
2. The development standards listed above, as established as part of the PAD Overlay District, as well as the standards allowed by use permit in Part 4 will conform to the development of this site.
3. The proposed PAD density is permitted under the MU-4 zoning and proposed maximum building heights are consistent with this type of density. Buildings are setback significantly from adjacent properties, avoiding any direct impact.
4. The reduction in front yard building setback places more emphasis and interaction on the street and creating more functionality to the live-work component and amenities provided near the office.
5. The conditions of approval are reasonable to ensure conformance with the provisions of the Zoning and Development Code.

GEP08004, ZON08006 AND PAD08012

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The property owner(s) shall sign a waiver of rights and remedies pursuant to A.R.S. §12-1134 that may now or in the future exist, releasing the City from any potential claims under Arizona's Private Property Rights Protection Act, which shall be submitted to the Development Services Department no later than **November 17, 2008** or the General Plan Amendment, Zoning Map Amendment and Amended Planned Area Development Overlay approval shall be null and void.
2. A building permit shall be obtained on or before October 16, 2010 or the zoning of the property may revert to that in place at the time of application, subject to a public hearing.
3. The Planned Area Development Overlay shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Development Services Department prior to issuance of building permits.
4. The PAD sets forth the proposed modified standards with a maximum allowable building height of 60'-0", minimum front yard building setback of 5'-0" and a maximum density of 35.4 dwelling units per acre of the site area. Any further reduction or increase in the standards shall require approval of an amended planned area development by the original decision-making body.
5. The maximum number of beds for this project shall not exceed six hundred forty (640), as identified on the plans.

PROJECT DATA:

Previously Approved Element @ ASU (April, 2008)

Gross/Net site area	6.35 acres
Total Building area	107,802 s.f.
Dwelling units	158 units, 435 bedrooms
Density	24.6 du/ac (25 du/ac max.)
Lot Coverage	39 % (60% max.)
Building Height	42 ft (Per PAD 46 ft max. allowed)
Building setbacks	25' north, 89' west, 58' east, 45' south (Per PAD 20' north, 10' west, 9' east, 10' south min.)
Landscape area	39% (25% min. required)
Vehicle Parking	459 spaces (406 min. required)
Bicycle Parking	188 spaces (168 min. required)
Gross/Net site area	6.35 acres

PROPOSED Element @ ASU (September, 2008)

Gross/Net site area	6.35 acres
Residential Building area	93,487 s.f. (38,274 s.f. garage)
Dwelling units	225 units, 640 beds (includes 10 live/work units)
Density	35.4 du/ac (Per PAD 25 du/ac max.)
Lot Coverage	48% (60% max.)
Building Height	60 ft (Per PAD 46 ft max. allowed)
Building setbacks	5' north, 10' west, 9' east, 10' south (Per PAD 20' north, 10' west, 9' east, 10' south min.)
Landscape area	32% (25% min. required)
Vehicle Parking	707 spaces (585 min. required)
Bicycle Parking	246 spaces (246 min. required)

HISTORY & FACTS:

- August 17, 1972 Ordinance No. 689 area annexed into the City of Tempe. Area designated as AG, Agricultural District.
- September 5, 1972 Commercial concrete building constructed.
- February 22, 1973 City Council adopted Ordinance No. 405.261, which rezoned 1.07 acres from AG, Agricultural District to .69 acres of R-3, Multi-Family Residential Limited and .38 acres of C-1, Neighborhood Commercial District.
- February 4, 1981 Design Review Board approved building elevations, site and landscape plans for Primero Heights Apartments, consisting of 11 units two stories in height at 1955 E. University Drive, in the R-3 District. (Development never constructed)
- November 28, 2006 Development Review Commission recommended approval of a Zoning Map Amendment for PERRY PLACE CONDOMINIUMS from R/O, R-3 and CSS Districts to R-4 District, located at 1949 East University Drive.
- January 4, 2007 City Council approved the request for a Zoning Map Amendment for PERRY PLACE CONDOMINIUMS from R/O, R-3 and CSS Districts to R-4 District, located at 1949 East University Drive.
- February 13, 2007 Development Review Commission approved the request for a Development Plan and recommended approval for a Planned Area Development Overlay for PERRY PLACE CONDOMINIUMS, consisting of 156 new condominium units, located at 1949 East University Drive.
- March 15, 2007 City Council approved the request for a Planned Area Development Overlay for PERRY PLACE CONDOMINIUMS located at 1949 East University Drive.
- April 8, 2008 Development Review Commission approved the request for a Development Plan Review for THE ELEMENT @ ASU (PL080041) (William Bannister, AGI Investors, property owner; Angie Rawie, JLB Partners, applicant) consisting of a new 158 unit student housing development, including a three-story building with parking garage, within approximately 107,800 sf. of building area on 6.35 net acres, located at 1949 East University Drive.
- June 30, 2008 Applicants for The Element @ ASU held a required neighborhood meeting at 6 pm at the Escalante Community Center, 2150 East Orange Street. Only one member from the public attended the meeting for the purpose of a class assignment.
- September 9, 2008 Development Review Commission approved the development plan review for the Element @ ASU and recommended approval for this request a General Plan Amendment, Zoning Map Amendment, and a Planned Area Development Overlay located at 1949 East University Drive.
- October 2, 2008 City Council held the introduction and first public hearing for a General Plan Amendment, Zoning Map Amendment, and a Planned Area Development Overlay for THE ELEMENT @ ASU, located at 1949 East University Drive.

ZONING AND DEVELOPMENT CODE REFERENCE:

- Section 6-302, General Plan Amendment
- Section 6-304, Zoning Map Amendment
- Section 6-305, Planned Area Development (PAD) Overlay districts

RESOLUTION 2008.80

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, AMENDING THE GENERAL PLAN 2030 PROJECTED LAND USE MAP FROM RESIDENTIAL TO MIXED USE AND THE PROJECTED DENSITY MAP FROM MEDIUM TO HIGH DENSITY (UP TO 25 DWELLING UNITS PER ACRE) TO HIGH DENSITY (GREATER THAN 25 DWELLING UNITS PER ACRE) FOR APPROXIMATELY 6.35 ACRES LOCATED AT 1949 EAST UNIVERSITY DRIVE.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF TEMPE, that the General Plan 2030 Projected Land Use Map and Projected Residential Density Map are hereby amended for approximately 6.35 acres from Residential, Medium to High Density (up to 25 units per acre) to Mixed Use, High Density (greater than 25 units per acre), located at 1949 East University Drive.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA,
this _____ day of _____ 2008.

Mayor

ATTEST:

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY

ORDINANCE NO. 2008.46

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, AMENDING THE CITY OF TEMPE ZONING MAP, PURSUANT TO THE PROVISIONS OF ZONING AND DEVELOPMENT CODE PART 2, CHAPTER 1, SECTION 2-106 AND 2-107, RELATING TO THE LOCATION AND BOUNDARIES OF DISTRICTS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, as follows:

Section 1. That the City of Tempe Zoning Map is hereby amended, pursuant to the provisions of Zoning and Development Code, Part 2, Chapter 1, Section 2-106 and 2-107, by removing the below described property from the R-4, Multi-Family Residential General District and designating it as MU-4, Mixed-Use High Density District with a Planned Area Development Overlay on 6.35 acres.

LEGAL DESCRIPTION

All that portion of the Northwest quarter of Section 24, Township 1 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

COMMENCING at the Northeast corner of said Northwest quarter;

THENCE South 88 degrees 31 minutes 00 seconds West along the North line of said Northwest quarter, a distance of 503.36 feet;

THENCE South 00 degrees 17 minutes 23 seconds East, parallel with and 503.25 feet, measured at right angles, Westerly of the East line of said Northwest quarter, a distance of 55.00 feet to the South right-of-way line of UNIVERSITY DRIVE and the TRUE POINT OF BEGINNING;

THENCE continuing South 00 degrees 17 minutes 23 seconds East, parallel with and 503.25 feet, measured at right angles, Westerly of the East line of said Northwest quarter, a distance of 466.47 feet to the North line of PAPAGO PARK VILLAGE 2, as shown in Book 265 of Maps, Page 20, Maricopa County Records;

THENCE South 89 degrees 50 minutes 51 seconds West along said North line PAPAGO PARK VILLAGE 2, a distance of 210.86 feet;

THENCE South 89 degrees 48 minutes 47 seconds West along South line of property Quit Claimed to AGI Investors LLC by Papago Park Village 2 Homeowners Association, a distance of 386.88 feet to the Southwest corner of said property Quit Claimed to AGI Investors LLC;

THENCE North 01 degrees 26 minutes 54 seconds West along the West line of said property Quit Claimed to AGI Investors LLC, a distance of 452.71 feet to said South right-of-way line of UNIVERSITY DRIVE;

THENCE North 88 degrees 31 minutes 00 seconds East along said South right-of-way line, a distance of 607.02 feet to the POINT OF BEGINNING.

TOTAL AREA IS 6.35 GROSS ACRES.

Section 2. Further, those conditions of approval imposed by the City Council as part of Case ZON08006 are hereby expressly incorporated into and adopted as part of this ordinance by this reference.

Section 3. Pursuant to City Charter, Section 2.12, ordinances are effective thirty (30) days after adoption.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA, this
day of October, 2008.

Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

WHEN RECORDED RETURN TO:
City of Tempe
Development Services Department
31 E. 5th Street
Tempe, AZ. 85281

**WAIVER OF RIGHTS AND REMEDIES
UNDER A.R.S. §12-1134**

This Waiver of Rights and Remedies under A.R.S. § 12-1134 (Waiver) is made in favor of the City of Tempe (City) by **JLB Tempe LLC** (Owner/s).

Owner acknowledges that A.R.S. § 12-1134 provides that in some cases a city must pay just compensation to a land owner if the city approves a land use law that reduces the fair market value of the owner's property (Private Property Rights Protection Act).

Owner further acknowledges that the Private Property Rights Protection Act authorizes a private property owner to enter an agreement waiving any claim for diminution in value of the property in connection with any action requested by the property owner.

Owner has submitted Application No. **PL080041** to the City requesting that the City approve the following:

- GENERAL PLAN AMENDMENT
- ZONING MAP AMENDMENT
- PAD OVERLAY
- HISTORIC PRESERVATION DESIGNATION/OVERLAY
- USE PERMIT
- VARIANCE
- DEVELOPMENT PLAN REVIEW
- SUBDIVISION PLAT/CONDOMINIUM PLAT
- OTHER _____
(Identify Action Requested)

for development of the following real property (Property):

Parcel No. : _____

(Legal Description and Address)

By signing below, Owner voluntarily waives any right to claim compensation for diminution in Property value under A.R.S. §12-1134 that may now or in the future exist if the City approves the above-referenced Application, including any conditions, stipulations and/or modifications imposed as a condition of approval.

This Waiver shall run with the land and shall be binding upon all present and future owners having any interest in the Property.

This Waiver shall be recorded with the Maricopa County Recorder's Office.

Owner warrants and represents that Owner is the fee title owner of the Property, and that no other person has an ownership interest in the Property.

Dated this _____ day of _____, 2008.

(Signature of Owner)

(Printed Name)

(Signature of Owner)

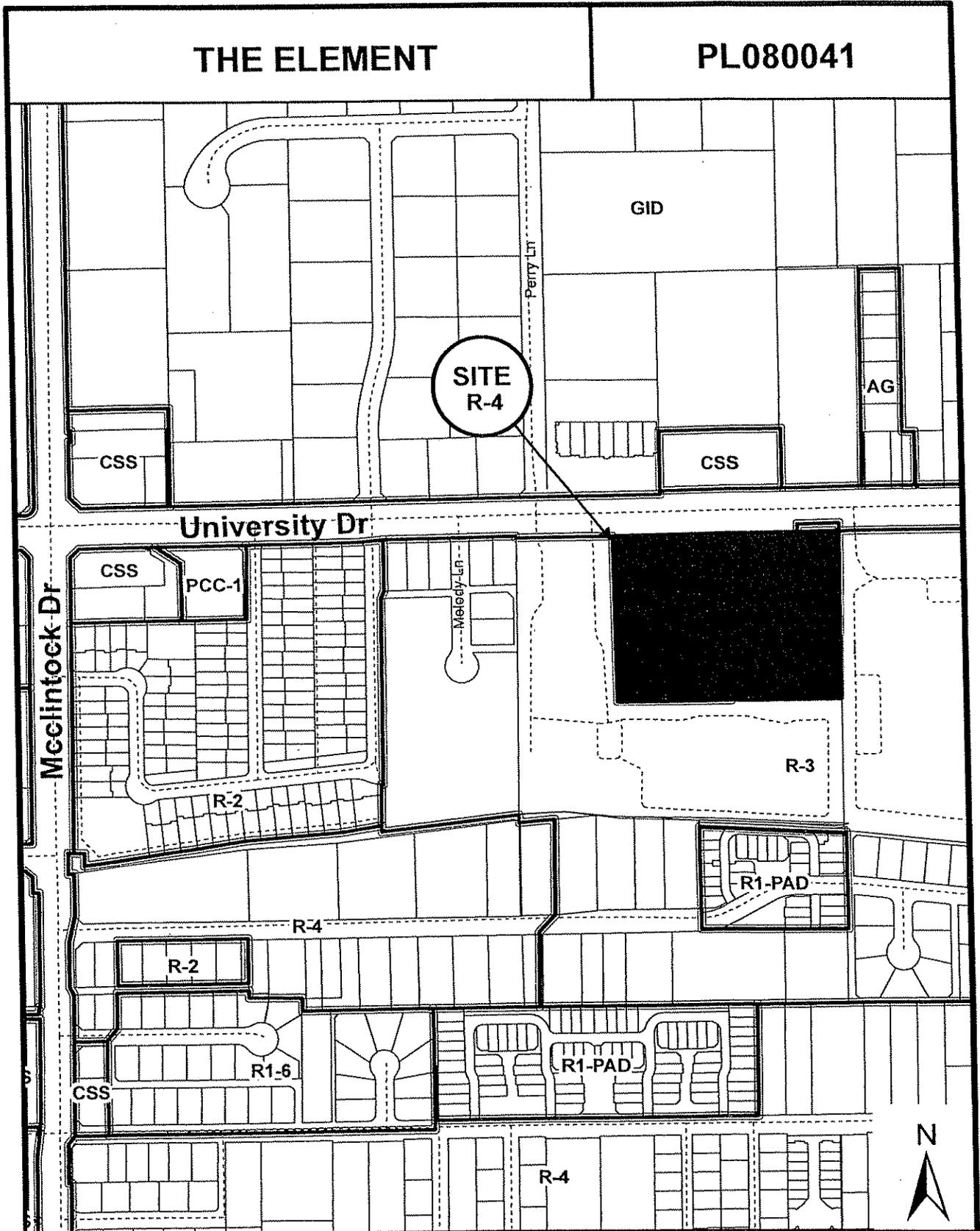
(Printed Name)

State of Arizona)
) ss
County of _____)

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2008, by

(Signature of Notary)

(Notary Stamp)



Location Map



THE ELEMENT @ ASU

(PL080041)



July 21, 2008

City of Tempe
31 East Fifth Street
Tempe, Arizona 85280

RE: Letter of Explanation

JLB Partners is pleased to submit this application to modify a previously approved Planned Area Development Overlay for your consideration. The proposed project provides high quality housing located on an in-fill site where residents can easily walk, bike or access public transportation to get to campus or downtown.

JLB held a neighborhood meeting in June. Additionally, we met with members of the adjacent homeowners' association board and gained the Board's support for our revised development plan.

Site

The Site is located on the south side of University Drive approximately 500 feet west of Smith Drive. The site is a former mobile home community that has been cleared to make way for redevelopment. The site is surrounded by existing multi-story multifamily housing. The site is currently zoned R-4, Multi-Family General Residential District and Planned Area Development (PAD) Overlay District. Earlier this year we sought and received approval from the Development Review Commission to build a project with 156 residential units. The plan was similar in design to what is now proposed but the currently approved plan allows the southern end of the project to expose a multi-story parking garage facing the adjacent condominium project. We seek to modify and further improve the site plan to provide 224 residential units (including both more traditional apartment-style units and exciting Live/Work units that will bring a presence to University Drive), increase the usable open space and site amenities, increase the number and quality of parking spaces, provide direct public transit connections and, perhaps most importantly, fully conceal the previously approved but exposed parking structure.

General Plan Amendment and MU-4 Zoning Request

JLB Partners is seeking an amendment to the General Plan to increase the density and to amend the zoning to MU-4 to allow for the live/work units. In March 2007 the City of Tempe approved the request by AGI Investors, LLC for a Planned Area Development Overlay for the development of 156 new condominium units on the site in the R-4, Multifamily Residential General District (PAD 06011). In April 2008, the City of Tempe approved our previous request to provide 154 units of multifamily housing on this site.



909 Lake Carolyn Parkway, Suite 960 Irving, Texas 75039
Phone 214.271.8480 Fax 214.271.8479 www.jlbpartners.com

ATTACHMENT 7

The proposed development complies with the land use goals and element objectives for the General Plan 2030. The newly proposed site plan maintains the "Residential" land use (and infuses the live/work units) but proposed to increase the Projected Density to fewer than 35 dwelling units per acre. The increased density is consistent with the existing multi-family development in the area.

JLB Partners is requesting a modification to the existing Planned Area Development Overlay to address design criteria required to provide a higher quality development. The development approved in April 2008 included a single three-story apartment building with a three-story parking structure exposed on the southwest corner of the property. This revised proposal takes great effort to conceal the garage and provide for live/work units along University Drive that will bring the building into the urban fabric of University Drive.

The proposed plan is characterized by an urban infill design which engages the streetscape along University Drive and promotes a sense of community. The footprint of the building is built up to the setback along University Drive and the pedestrian minded intent of the project is emphasized by the proposed sidewalk and landscaping which will be extended the length of the site and by the bus shelter which will be built on the west side of the site to help facilitate the use of public transit by ASU students to campus.

Proposed Project

The proposed project is located at University Drive just west of Smith Drive in Tempe, approximately one mile east of the Arizona State University campus. The new development is designed to provide 214 apartment-style units and 10 live/work units along University Drive, contained in a four-story building that provides residents with two interior courtyards filled with landscape and common-area amenities including a resort-style swimming pool, lighted sand volleyball court and outdoor cabana. Ample on-site parking is provided for each resident by both surface parking and an attached parking garage, which is completely wrapped with the residential units. We are particularly proud of the proposed live/work units proposed for University Drive. We believe that this type of unit will be an asset to the feel and function of University Drive.

The design of the new community is contemporary. The style is consistent with the approved project. The massing of the structure firmly holds the street edges and serves to define the public realm both at the street and for the interior courtyards. The landscape concept is made up of a variety of trees, shrubs and groundcovers spaced around the site to create a colorful and pleasing design. The plantings have been placed around the site in such a fashion to help as follows: to denote the main site entries, to screen the four-story buildings from off-site views, to provide some solar protection for the buildings and to provide a safe environment for all residents and guests.

The streetscape will provide a variety of landscaping materials to create a pleasant environment for pedestrians and also add an additional layer of screening. The overall effect is a project that will be inviting and urban in scale

Due to the development's proximity approximately one mile from the ASU campus, residents will be encouraged to bicycle, walk and take public transit to classes at ASU. A bus shuttle will be added near the western boundary of the property to encourage students to take the bus rather than drive to the ASU campus. Additionally, the Mercury Orbit Bus will travel within a block of the site providing students with frequent and free travel to ASU and the Mill Avenue District. Racks for parking 248 bicycles will be provided on-site, many of them under cover. Besides limited visitor vehicular parking to access the community center and leasing activities, security gates will provide controlled vehicular and pedestrian access.

Despite our efforts to reduce driving, we realize that many of our residents will have vehicles. The demand for parking for residents at a ratio of one parking space per bedroom required a unique design solution to the multi-level parking garage. By wrapping the parking garage with units on all four sides of the parking structure, the structure is completely screened visually from neighboring properties. In addition, surface parking and a twenty three (23') foot drive aisle, sidewalk and finally another additional landscape buffer separates the structure from abutting property owners.

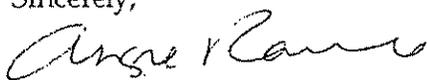
The proposed units are designed to provide a comfortable living/ learning environment for the residents. The unit mix will consist of live/work units, studios, two bedroom, three bedroom and four bedroom units with each bedroom having a private bathroom.

The proposed project will feature a clubhouse and social area, state-of-the-art fitness center, computer room, and leasing office for efficient community operation. The social area will be furnished in a comfortable fashion and include a small service kitchen. The clubhouse lounge room will have game tables, wide screen TV and a coffee bar, tastefully decorated to welcome residents into their new community. The back of the clubhouse will overlook the resort-style swimming pool. Water volleyball and water basketball will be enjoyed year round. Barbeque grills, open-air cabana with fire pit seating area, a gas-powered fire pit and picnic areas are also provided.

JLB Partners believes the modifications requested significantly improve the approved project and we seek support from the Development Review Commission and City Council.

Thank you for your consideration.

Sincerely,



Angie Rawie

General Plan Assessment for 1949 E. University Drive

The request to amend the density projection of General Plan for 1949 East University Drive is consistent "with the City's goals and objectives of the General Plan Elements" as follows:

We are proposing to amend the Land Use Element and Projected Density. The request for modification of the General Plan in this case is to change the density of the projected Residential Use from Medium to High Density to High Density and to allow for a Mixed-Use designation to allow for live/work units. It is important to note that the existing surrounding uses to this site are multi-family uses.

We do not seek to modify the Accessibility Element goals or objectives of the General Plan.

We do not seek to modify the Community Design goals or objectives of the General Plan.

We do not seek to modify the Historic Preservation goals or objectives of the General Plan.

We do not seek to modify the Housing goals or objectives of the General Plan. In fact, we meet the goals by increasing the diversity of housing near the campus and by creating a live/work rental unit not currently available in Tempe.

We do not seek to modify the Neighborhoods goals or objectives of the General Plan. In fact, we support the goals of the General Plan and encourage students to move out of single family neighborhoods and into housing designed for students.

We do not seek to modify the Economic Development goals or objectives of the General Plan. In fact, our new rental live/work units provide for a greater diversity of business in Tempe.

The property is a former mobile home community and is surrounded by multi-family residential land uses. A redevelopment to a higher standard of land use would further the Conservation goals and objectives of the General Plan.

We do not seek to modify the Water Use goals or objectives of the General Plan.

We do not seek to modify the Transportation goals or objectives of the General Plan. The site has a bus stop located near the main entrance of the park and the site is within approximately two miles of a number of freeway points of access. Additionally, the site is located within walking distance of the Orbit and Valley Metro Light Rail.

We do not seek to modify the Pedestrian Network goals or objectives of the General Plan.

We do not seek to modify the Transit goals or objectives of the General Plan. In fact, we support the goals by providing a bus stop near the entrance of the park.

We do not seek to modify the Travel Way goals or objectives of the General Plan.

We do not seek to modify the Motorist goals or objectives of the General Plan.

JUL 23 2008

The Aviation element and goals do not apply to the specific request.

The proposed request does not negatively impact the current or proposed Open Spaces within the City of Tempe.

We do not seek to modify the Recreational Amenities goals or objectives of the General Plan.

We do not seek to modify the Public Art and Cultural Amenities goals or objectives of the General Plan.

We do not seek to modify the Public Facilities and Services goals or objectives of the General Plan.

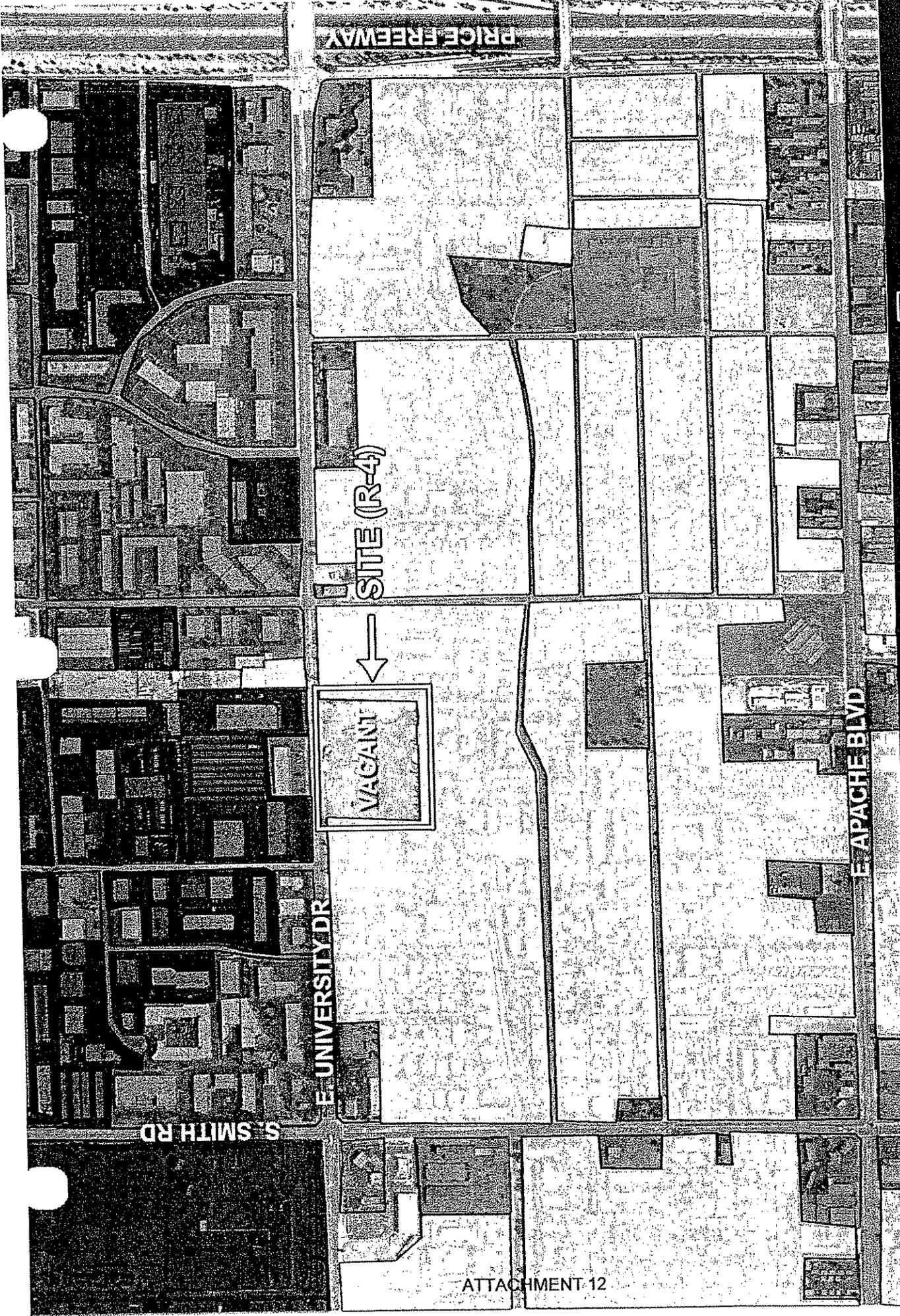
We do not seek to modify the Public Buildings goals or objectives of the General Plan.

The site will bring updated Public Services to the property.

We do not seek to modify the Human Services goals or objectives of the General Plan.

We do not seek to modify the Public Safety goals or objectives of the General Plan.

JUL 23 2008



EDUCATIONAL
 MIXED USE
 PUBLIC OPEN SPACE

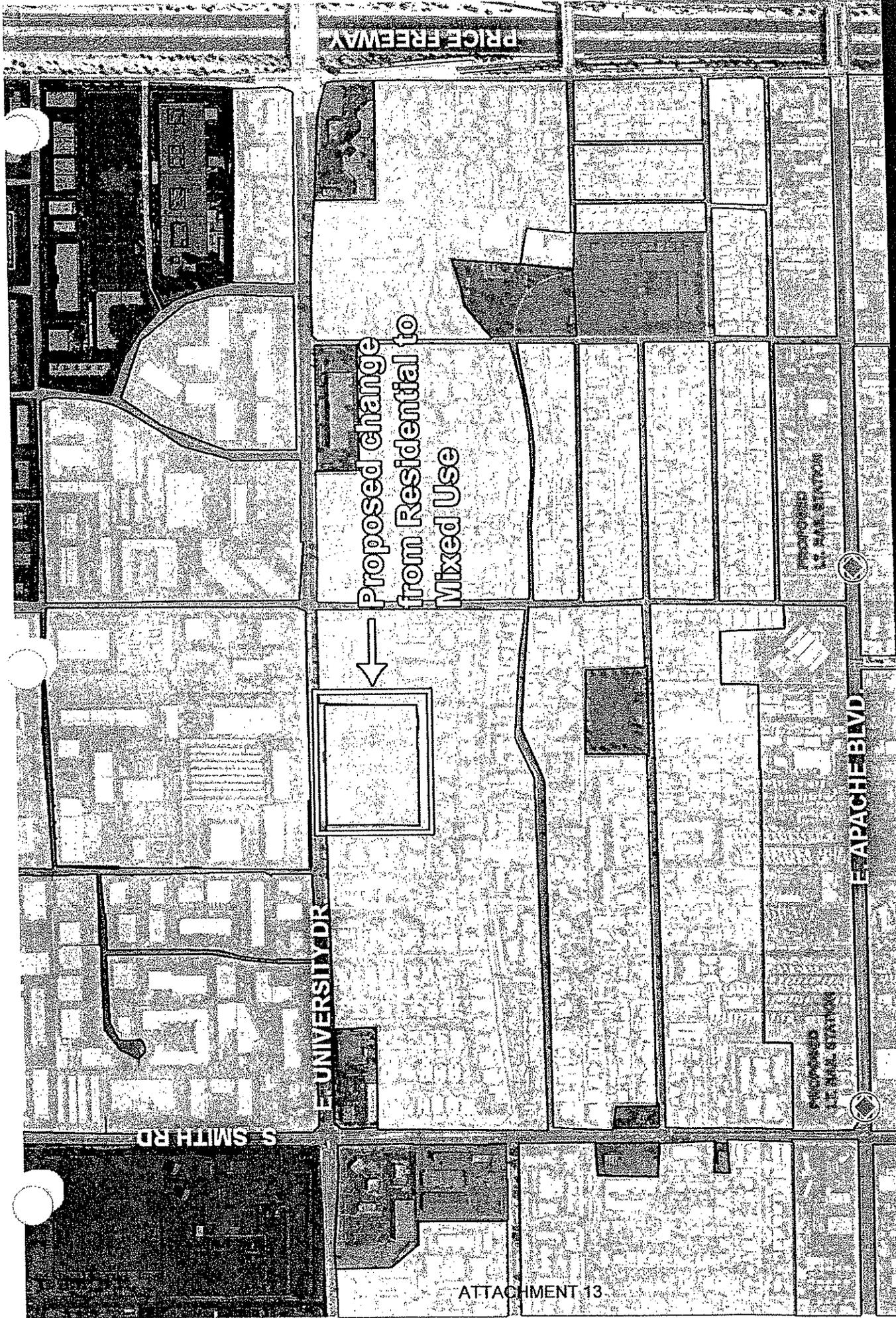
RESIDENTIAL
 COMMERCIAL
 INDUSTRIAL

EXISTING LAND USE

1949 E. UNIVERSITY DR - JLB PARTNERS
 PROJECT/CASE # 08007

SECTION 24 N ZONING: EXISTING R-4





Proposed change
from Residential to
Mixed Use



E. UNIVERSITY DR

S. SMITH RD

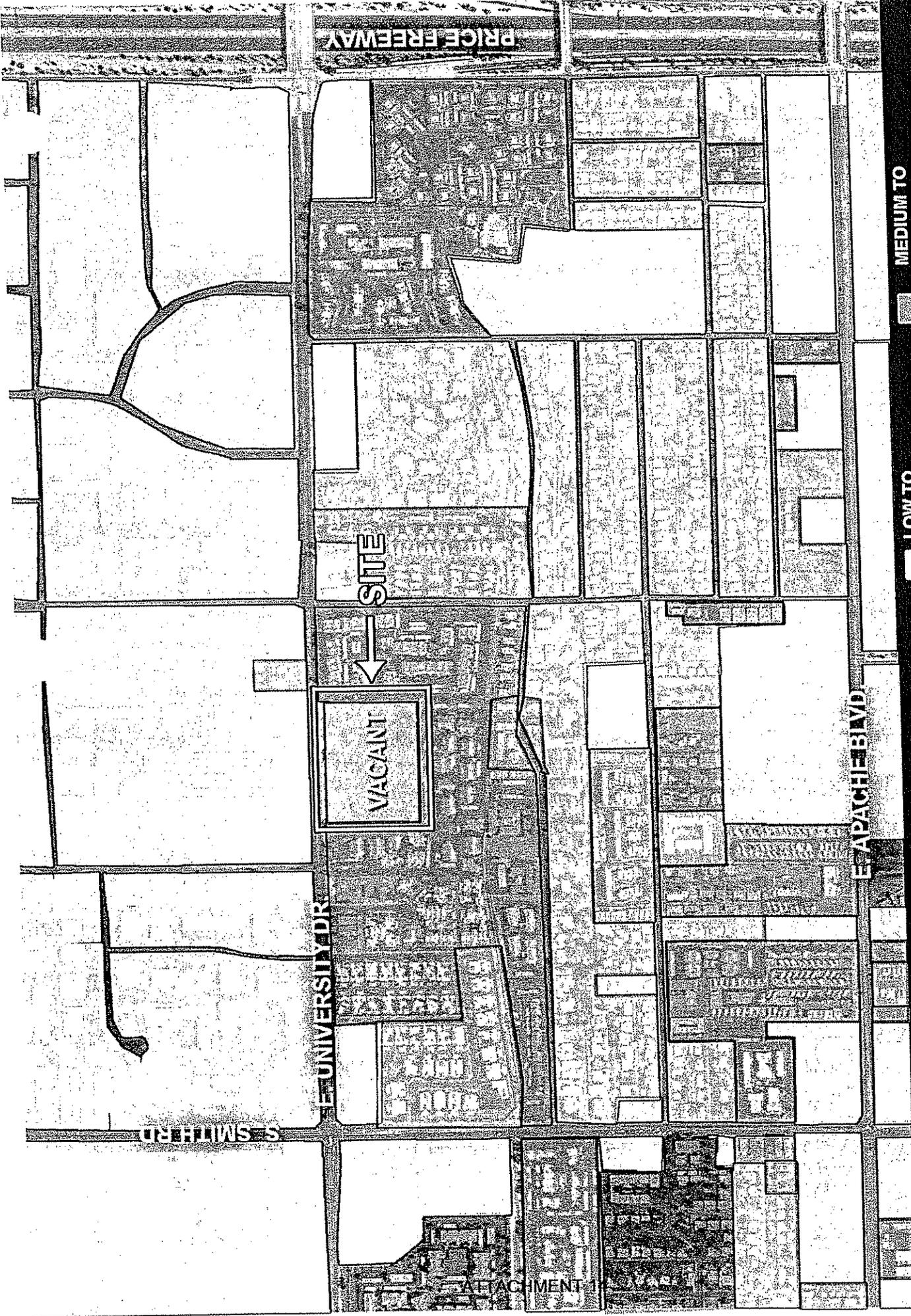
PRICE FREEWAY

E. APACHE BLVD

- RESIDENTIAL
- COMMERCIAL
- INDUSTRIAL
- EDUCATIONAL
- MIXED USE
- PUBLIC OPEN SPACE

PROJECTED LAND USE
 1949 E. UNIVERSITY DR - JLB PARTNERS
 PROJECT/ CASE # 08007
 SECTION 24 N ZONING: PROPOSED MU-4





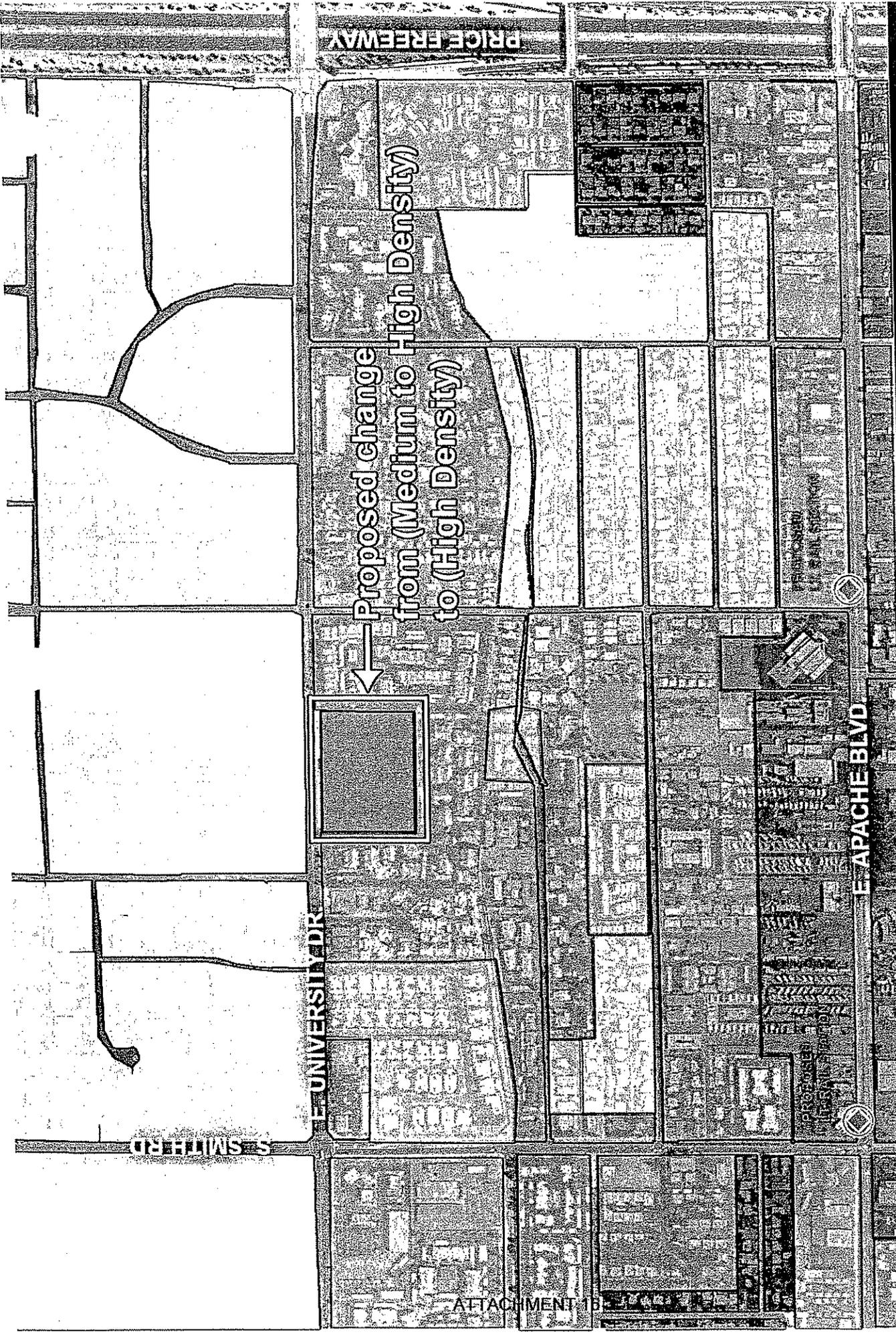
- LOW TO MODERATE DENSITY (4 to 9 du/ac)
- MEDIUM TO HIGH DENSITY (16 to 25 du/ac)
- HIGH DENSITY (> than 25 du/ac)
- MEDIUM DENSITY (10 to 15 du/ac)

EXISTING DENSITY

1949 E. UNIVERSITY DR - JLB PARTNERS
 PROJECT/ CASE # 08007
 SECTION 24 N DENSITY: VACANT



ATTACHMENT 1



PROJECTED DENSITY
 1949 E. UNIVERSITY DR - JLB PARTNERS
 PROJECT/ CASE # 08007
 SECTION 24 N DENSITY: HIGH DENSITY



HUELLMANTEL
& AFFILIATES
ATTORNEYS AT LAW

ADMITTED IN:
ARIZONA
DISTRICT OF COLUMBIA

August 12, 2008

Mr. Ryan Levesque
Senior Planner
City of Tempe
31 East 5th Street
Tempe, Arizona 85281

Dear Ryan:

As you are aware, JLB Partners held a neighborhood meeting on June 30, 2008, in accordance with the City of Tempe Zoning and Development Code. The meeting was held at a City of Tempe facility (Escalante Community Center) within blocks of the proposed development site. I should note that you attended the meeting.

A journalism student from ASU attended the event to write a story on the development process. The student supported the GPA and rezoning requests. No other members of the public attended the meeting.

Separately, and in addition to the code requirements, JLB met with members of the homeowners' association that wraps around the south and west sides of the site. It was a short but positive meeting. The association supports the project, and their members were thankful that the revised development plan encloses the previously-exposed garage.

Sincerely,



Charles Huellmantel

ATTACHMENT 16

SITE DATA		08.11.08				
SITE LOCATION						
1949 EAST UNIVERSITY DR. TEMPE, ARIZONA 85281						
SITE ZONING						
ZONING:	EXISTING R-4 (PAD)/ PROPOSED MU-4 (PAD)					
SETBACKS:	EXISTING 20'-0" / PROPOSED 5'-0" FRONT 10'-0" SIDE & REAR (9'-0" @ EASTERN SIDE YARD)					
EASEMENTS:	NONE					
MAX. BLDG. HT.:	PROPOSED 60'-0"					
MAX. LOT COVERAGE:	60% MAX.					
LANDSCAPE COVERAGE:	25% MIN.					
SITE DENSITY						
SITE AREA	276,792.11 S.F. / 6.354 ACRES					
TOTAL UNITS	225 UNITS					
TOTAL BEDS	640					
PROPOSED DENSITY	35.4 UNITS/ACRE					
BUILDING INFORMATION						
GROSS AREA:						
BUILDING	93,487 S.F.	33.8%				
GARAGE	38,274 S.F.	13.8%				
% OF LOT COVERAGE:						
SURFACE PARKING	56,778 S.F.	20.5%				
LANDSCAPE	88,253 S.F.	31.9%				
BUILDING HEIGHT:	56'-0"					
NUMBER OF STORIES:	4					
UNIT TABULATIONS v.2						
UNIT TABULATIONS - APARTMENTS						
UNIT TYPE	SQ. FT.	# UNITS	TOTAL	% UNITS	% UNITS # BEDS	# BEDS
E1 UNITS	441	23	25	11%	12%	23
E-ANSI UNITS	557	2		1%		2
B1 UNITS	824	16	64	7%	30%	32
B1.2 UNITS	824	4		2%		8
B2 UNITS	910	27		13%		54
B3 UNITS	853	7		3%		14
B4 UNITS	974	6		3%		12
B-ANSI UNITS	1,039	4		2%		8
C1 UNITS	1,229	12	27	6%	13%	36
C1.2 UNITS	1,194	3		1%		9
C2 UNITS	1,245	10		5%		30
C-ANSI UNITS	1,362	2		1%		6
D1 UNITS	1,460	80	99	37%	46%	320
D1.2 UNITS	1,424	13		6%		52
D-ANSI UNITS	1,727	6		3%		24
TOTAL		215		100%	100%	630
UNIT TABULATIONS - LIVE WORK						
UNIT TYPE	SQ. FT.	# UNITS	# BEDS			
LW-1 UNITS	1,165	6	6			
LW-2 UNITS	1,271	3	3			
LW-3 UNITS	1,471	1	1			
TOTAL		10	10			
PARKING REQUIRED						
SPACES REQUIRED PER ZONING (MIXED USE)						
VEHICLE						
STUDIO:	10	1/UNIT	10 SPACES			
1 BED (L/W):	25	1.5/UNIT	37.5 SPACES			
2 BED:	64	2/UNIT	128 SPACES			
3 BED:	27	2.5/UNIT	67.5 SPACES			
4 BED:	99	3/UNIT	297 SPACES			
TOTAL	225		540 SPACES			
VISITOR:		.2/UNIT	45 SPACES			
TOTAL REQUIRED			585 SPACES			
BICYCLE						
1 BED/STUDIO:	35	.75/UNIT	27 SPACES			
2 BED:	64	.75/UNIT	48 SPACES			
3 BED:	27	1/UNIT	27 SPACES			
4 BED:	99	1/UNIT	99 SPACES			
VISITOR:	225	.2/UNIT	45 SPACES			
TOTAL			246 SPACES			
PARKING PROVIDED						
RESIDENTIAL						
VEHICLE						
SURFACE:	167 SPACES					
PUBLIC:	30 SPACES					
PRIVATE:	137 SPACES					
GARAGE:	540 SPACES					
	ACCESSIBLE: 13 SPACES					
TOTAL PEDESTRIAN BICYCLE:	246 SPACES					

1949 E. UNIVERSITY DR.

JLB PARTNERS

PROJECT/CASE # SPR 08007
EXISTING R-4 (PAD)
SECTION: 24 N ZONING: PROPOSED MU-4 (PAD)

1949 E. UNIVERSITY DR.
TEMPE, ARIZONA

Hensley Lamkin Rachel, Inc.
ARCHITECTURE AND PLANNING

SUITE 600
75254
FAX 972 726-9401

14881 QUORUM DR.
DALLAS, TEXAS
PH 972 726-9400



BRUCE RACHEL, AIA
AZ LICENSE NO. 47352
PRELIMINARY DRAWING
NOT FOR CONSTRUCTION



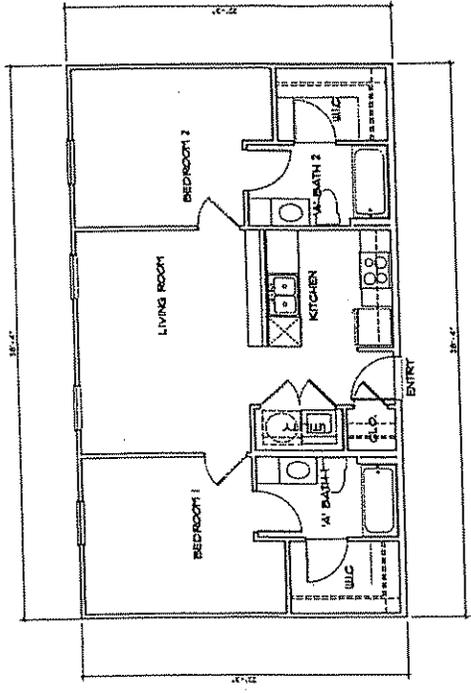
© HENSLY LAMKIN RACHEL, INC.
 ALL RIGHTS RESERVED.
 PRELIMINARY DRAWING
 NOT FOR CONSTRUCTION

08016
A2.5
 UNIT B3
 V-02-16-08

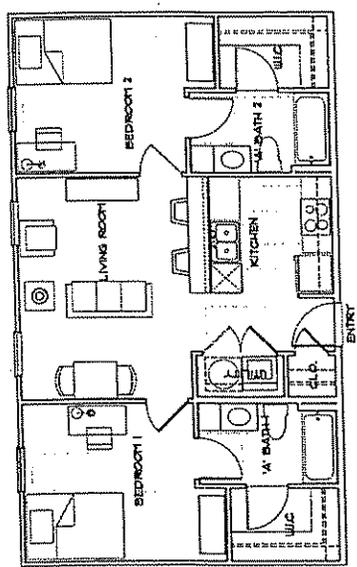
UNIT LEGEND		SYMBOLS	
WINDOW NET	WINDOOR MARK	WINDOOR MARK	WINDOOR MARK
FLOOR LOCATOR	FLOOR LOCATOR	FLOOR LOCATOR	FLOOR LOCATOR
DOOR NET	DOOR MARK	DOOR NET	DOOR MARK
FLOOR LOCATOR	FLOOR LOCATOR	FLOOR LOCATOR	FLOOR LOCATOR
OPERATIONS	OPERATIONS	OPERATIONS	OPERATIONS
TE = TOWER, MAX @ 37' AFF	RLZ = RESERVE CABINET	TE = TOWER, MAX @ 37' AFF	RLZ = RESERVE CABINET
VS = VENT, VCT	C = CLOSET	VS = VENT, VCT	C = CLOSET
T = CEILING TILE	W = WINDOW	T = CEILING TILE	W = WINDOW
R = ROOM	WB = WATER HEATER	R = ROOM	WB = WATER HEATER
AP = APPLIANCE	OW = OPERATOR	AP = APPLIANCE	OW = OPERATOR
GS = GROUND	GS = GROUND	GS = GROUND	GS = GROUND

- UNIT NOTES**
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
 3. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 4. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 6. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 7. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 8. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 9. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 10. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 11. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 12. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 13. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 14. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 15. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 16. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 17. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 18. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 19. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 20. ALL FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

UNIT B3 TOTAL NET AREA = 853.95'



UNIT B3 - FLOOR PLAN
 SCALE: 1/4" = 1'-0"



UNIT B3 - FINISH PLAN
 SCALE: 1/4" = 1'-0"



THIS DRAWING IS A PRELIMINARY DRAWING NOT FOR CONSTRUCTION
 © 2014 HENSLY LAMKIN RACHEL, INC.
 ALL RIGHTS RESERVED. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF HENSLY LAMKIN RACHEL, INC.

PROJECT NAME	EC
DATE	06/20/14
DESIGNED BY	EC
CHECKED BY	EC
DATE PLOTTED	07/15/14
DATE PLOTTED BY	EC
DATE PLOTTED AT	WESTFIELD, MA
SCALE	AS SHOWN
REVISIONS	
08/01/16	

A29
 UNIT C
 Y-02-16-08

UNIT LEGEND V 08-1

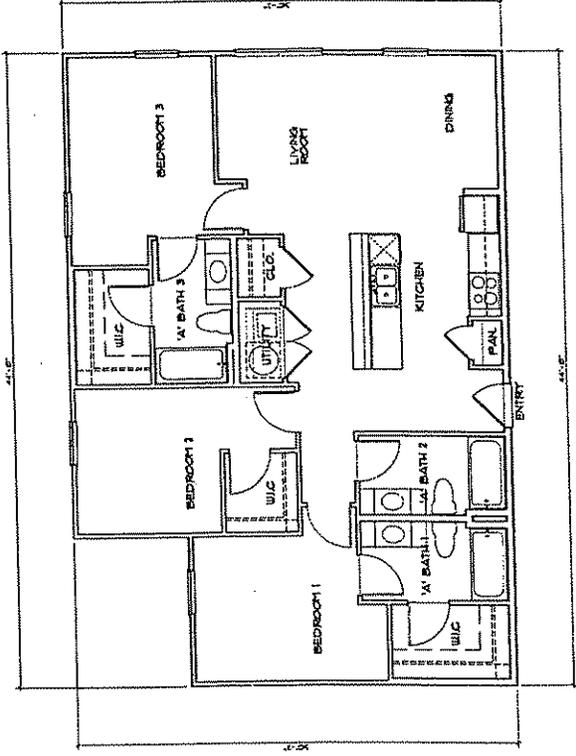
WINDOW MARK	WINDOW MARK
WALL MARK	WALL MARK
DOOR MARK	DOOR MARK
WALL LOCATION	WALL LOCATION
DOOR LOCATION	DOOR LOCATION
WALL LOCATION	WALL LOCATION
DOOR LOCATION	DOOR LOCATION

NOTES:
 1. ALL UNITS ON THE GROUND FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 2. ALL UNITS ON THE SECOND FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 3. ALL UNITS ON THE THIRD FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 4. ALL UNITS ON THE FOURTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 5. ALL UNITS ON THE FIFTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 6. ALL UNITS ON THE SIXTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 7. ALL UNITS ON THE SEVENTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 8. ALL UNITS ON THE EIGHTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 9. ALL UNITS ON THE NINTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 10. ALL UNITS ON THE TENTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 11. ALL UNITS ON THE ELEVENTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 12. ALL UNITS ON THE TWELFTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 13. ALL UNITS ON THE THIRTEENTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 14. ALL UNITS ON THE FOURTEENTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 15. ALL UNITS ON THE FIFTEENTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 16. ALL UNITS ON THE SIXTEENTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 17. ALL UNITS ON THE SEVENTEENTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 18. ALL UNITS ON THE EIGHTEENTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 19. ALL UNITS ON THE NINETEENTH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
 20. ALL UNITS ON THE TWENTIETH FLOORING SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.

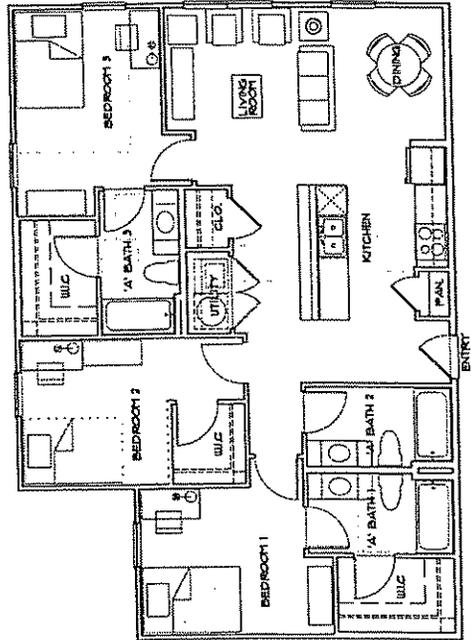
UNIT NOTES V 08-1

1. THE UNITS SHOWN ARE SUBJECT TO THE FOLLOWING NOTES:
2. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
3. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
4. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
5. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
6. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
7. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
8. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
9. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
10. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
11. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
12. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
13. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
14. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
15. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
16. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
17. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
18. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
19. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.
20. ALL UNITS SHALL BE FINISHED WITH 1/2" X 1/2" SQUARE CERAMIC TILE.

UNIT C2 TOTAL NET AREA = 1248 9F.



UNIT C2 - FLOOR PLAN
 SCALE: 1/8" = 1'-0"



UNIT C2 - FINISH PLAN
 SCALE: 1/8" = 1'-0"



THIS DOCUMENT IS THE PROPERTY OF HENSLEY LAMKIN RACHEL, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HENSLEY LAMKIN RACHEL, INC.

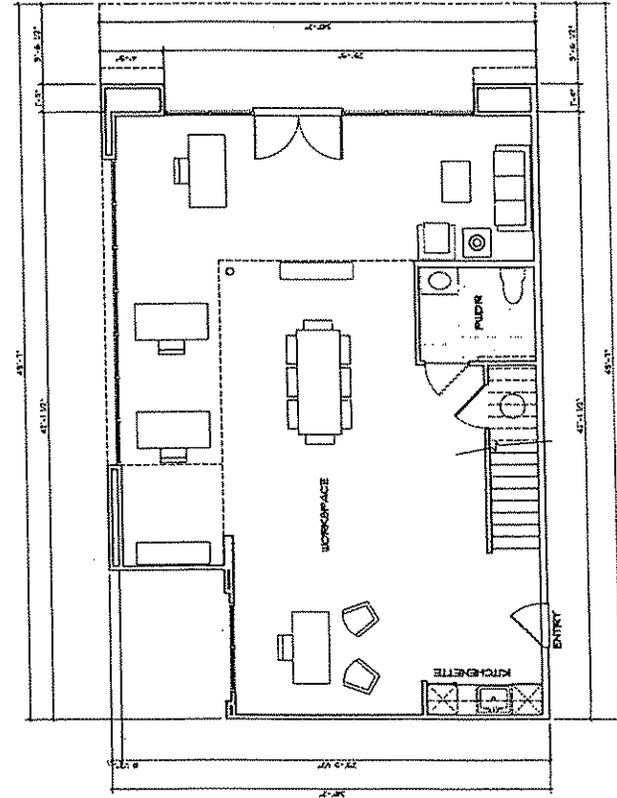
PROJECT NO. 0311
 PROJECT NAME
 SHEET NO.
 DATE
 DRAWN BY
 CHECKED BY
 APPROVED BY

080106
A215
 UNIT LWB

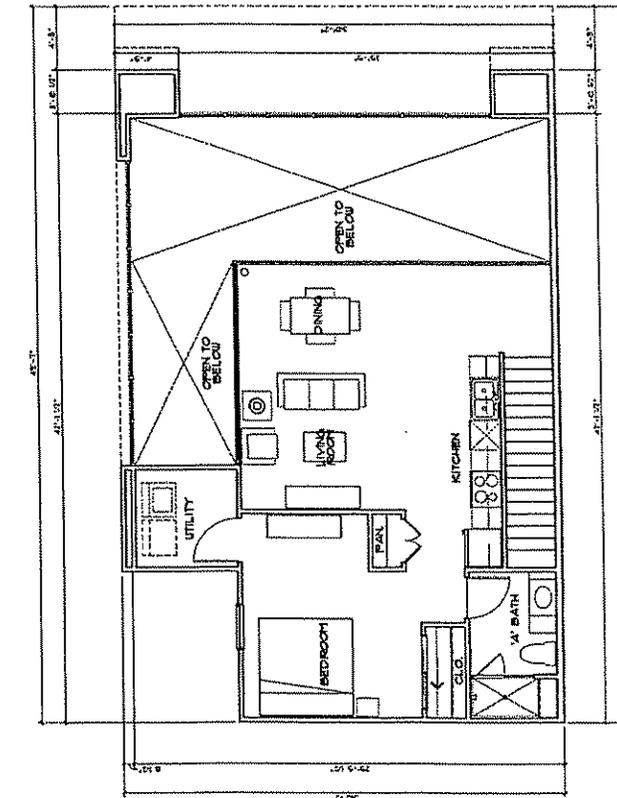
UNIT LEGEND		V 08-1	
WINDOW SET		W/ROOM MAKE	
FLOOR MAKE		TRANSOM MAKE	
OVER SET		FLOOR LOCATION	
DOOR MAKE			
FLOOR LOCATION			

- UNIT NOTES**
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 6. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 11. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 12. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 13. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 14. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 15. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 16. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 17. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

UNIT LWB-3 TOTAL NET AREA = 1469 SF.



UNIT LWB-3 - 1ST FLR FLOORFINISH PLAN
 SCALE: 1/8" = 1'-0"



UNIT LWB-3 - 2ND FLR FLOORFINISH PLAN
 SCALE: 1/8" = 1'-0"

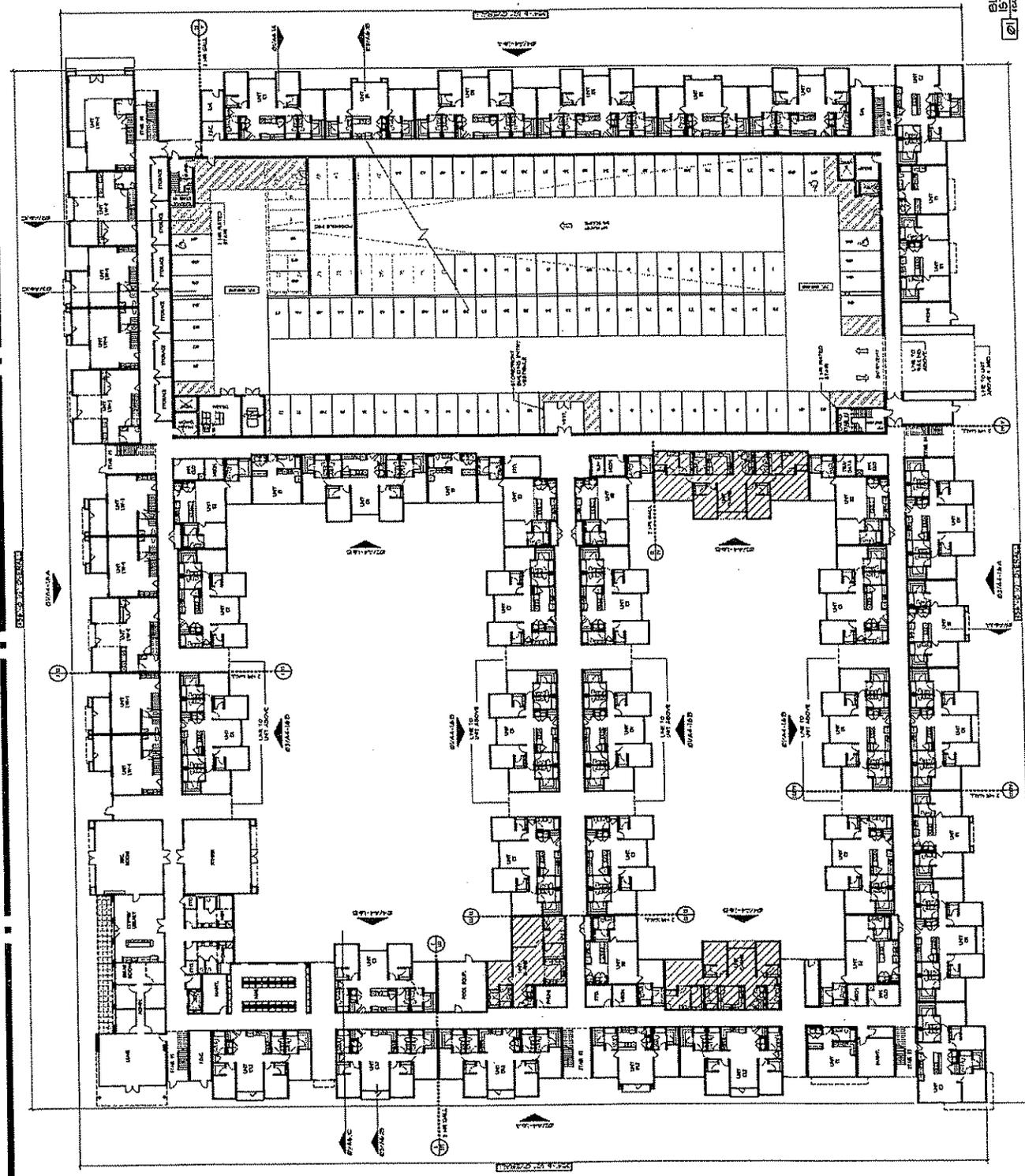


PREPARED FOR: JLB PARTNERS
 PROJECT NO.: 08016
 DRAWING NO.: 44-11
 DATE: 08/11/08
 SHEET NO.: 11
 TOTAL SHEETS: 11

NOT FOR CONSTRUCTION
 PRELIMINARY DRAWING
 ALL RIGHTS RESERVED
 NO PART OF THIS DRAWING
 MAY BE REPRODUCED OR
 TRANSMITTED IN ANY FORM
 OR BY ANY MEANS, ELECTRONIC
 OR MECHANICAL, INCLUDING
 PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION
 STORAGE AND RETRIEVAL
 SYSTEM, WITHOUT THE WRITTEN
 PERMISSION OF HENSLEY LAMKIN
 RACHEL, INC.

UNIT COUNT - 1ST FLOOR	
UNIT TYPE	UNIT COUNT
1	1
2	1
3	1
4	1
5	1
6	1
7	1
8	1
9	1
10	1
11	1
12	1
13	1
14	1
15	1
16	1
17	1
18	1
19	1
20	1
21	1
22	1
23	1
24	1
25	1
26	1
27	1
28	1
29	1
30	1
31	1
32	1
33	1
34	1
35	1
36	1
37	1
38	1
39	1
40	1
41	1
42	1
43	1
44	1
45	1
46	1
47	1
48	1
49	1
50	1
51	1
52	1
53	1
54	1
55	1
56	1
57	1
58	1
59	1
60	1
61	1
62	1
63	1
64	1
65	1
66	1
67	1
68	1
69	1
70	1
71	1
72	1
73	1
74	1
75	1
76	1
77	1
78	1
79	1
80	1
81	1
82	1
83	1
84	1
85	1
86	1
87	1
88	1
89	1
90	1
91	1
92	1
93	1
94	1
95	1
96	1
97	1
98	1
99	1
100	1
TOTAL	100

1ST FLOOR TYPE I
 1ST FLOOR
 08/11/08





© 2011 HENSLY LAMKIN RACHEL, INC.
 ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HENSLY LAMKIN RACHEL, INC.

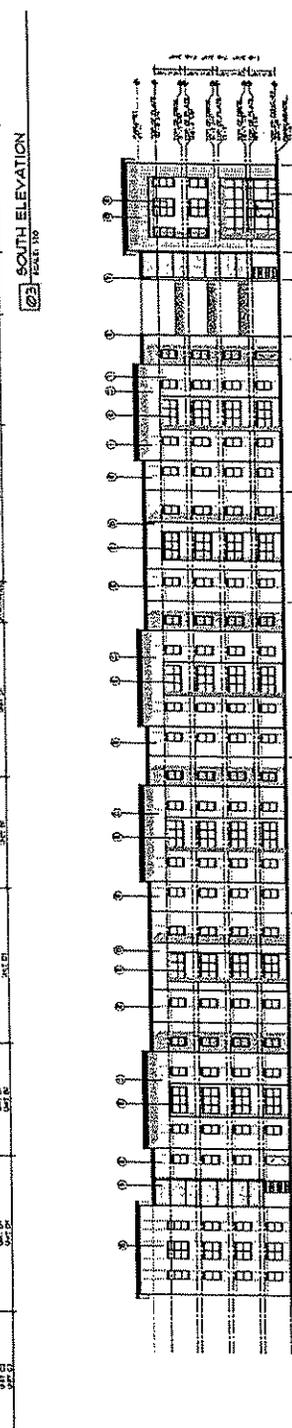
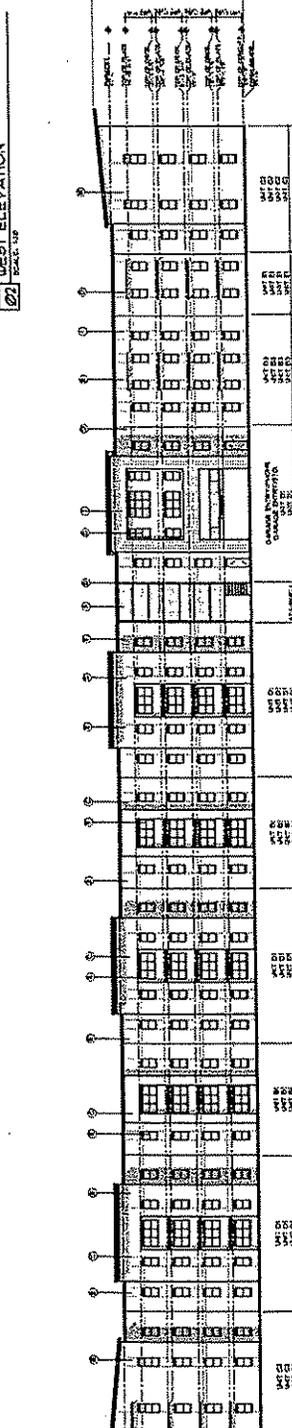
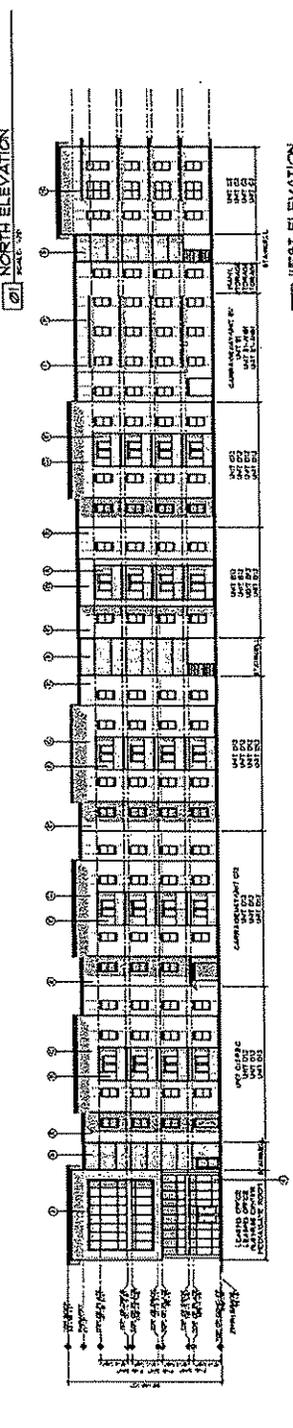
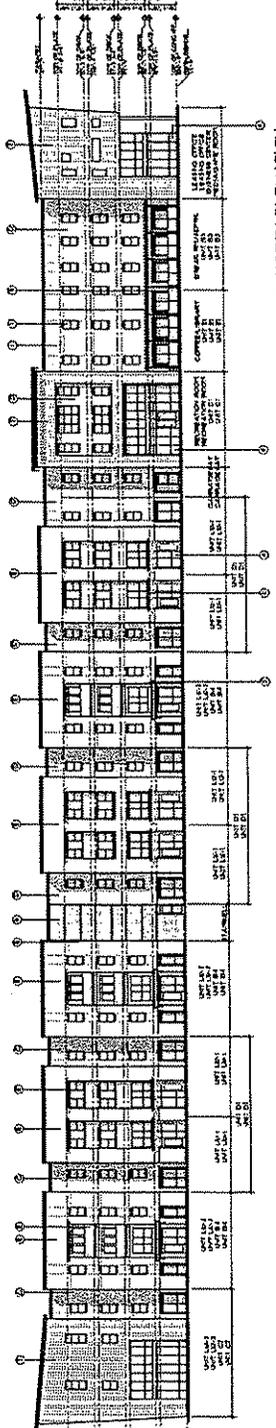
PROJECT NO.	08016
DATE	08/11/11
OWNER	EVER BLOCK
PROJECT	EVER BLOCK
SCALE	AS SHOWN
DATE	08/11/11
BY	JLB
CHECKED BY	JLB
DATE	08/11/11
PROJECT	EVER BLOCK
SCALE	AS SHOWN
DATE	08/11/11
BY	JLB
CHECKED BY	JLB
DATE	08/11/11

FINISH LEGEND:

1	EXTERIOR WALL FINISH
2	INTERIOR WALL FINISH
3	FLOOR FINISH
4	CEILING FINISH
5	ROOF FINISH
6	MECHANICAL FINISH
7	PAINT FINISH
8	WOOD FINISH
9	GLASS FINISH
10	METAL FINISH
11	CONCRETE FINISH
12	STAINLESS STEEL FINISH
13	CERAMIC FINISH
14	BRICK FINISH
15	STONE FINISH
16	EIFS FINISH
17	EIFS WITH STAINLESS STEEL FINISH
18	EIFS WITH CERAMIC FINISH
19	EIFS WITH BRICK FINISH
20	EIFS WITH STONE FINISH
21	EIFS WITH METAL FINISH
22	EIFS WITH GLASS FINISH
23	EIFS WITH CONCRETE FINISH
24	EIFS WITH CERAMIC TILE FINISH
25	EIFS WITH BRICK TILE FINISH
26	EIFS WITH STONE TILE FINISH
27	EIFS WITH METAL TILE FINISH
28	EIFS WITH GLASS TILE FINISH
29	EIFS WITH CONCRETE TILE FINISH
30	EIFS WITH CERAMIC TILE FINISH
31	EIFS WITH BRICK TILE FINISH
32	EIFS WITH STONE TILE FINISH
33	EIFS WITH METAL TILE FINISH
34	EIFS WITH GLASS TILE FINISH
35	EIFS WITH CONCRETE TILE FINISH
36	EIFS WITH CERAMIC TILE FINISH
37	EIFS WITH BRICK TILE FINISH
38	EIFS WITH STONE TILE FINISH
39	EIFS WITH METAL TILE FINISH
40	EIFS WITH GLASS TILE FINISH
41	EIFS WITH CONCRETE TILE FINISH
42	EIFS WITH CERAMIC TILE FINISH
43	EIFS WITH BRICK TILE FINISH
44	EIFS WITH STONE TILE FINISH
45	EIFS WITH METAL TILE FINISH
46	EIFS WITH GLASS TILE FINISH
47	EIFS WITH CONCRETE TILE FINISH
48	EIFS WITH CERAMIC TILE FINISH
49	EIFS WITH BRICK TILE FINISH
50	EIFS WITH STONE TILE FINISH
51	EIFS WITH METAL TILE FINISH
52	EIFS WITH GLASS TILE FINISH
53	EIFS WITH CONCRETE TILE FINISH
54	EIFS WITH CERAMIC TILE FINISH
55	EIFS WITH BRICK TILE FINISH
56	EIFS WITH STONE TILE FINISH
57	EIFS WITH METAL TILE FINISH
58	EIFS WITH GLASS TILE FINISH
59	EIFS WITH CONCRETE TILE FINISH
60	EIFS WITH CERAMIC TILE FINISH
61	EIFS WITH BRICK TILE FINISH
62	EIFS WITH STONE TILE FINISH
63	EIFS WITH METAL TILE FINISH
64	EIFS WITH GLASS TILE FINISH
65	EIFS WITH CONCRETE TILE FINISH
66	EIFS WITH CERAMIC TILE FINISH
67	EIFS WITH BRICK TILE FINISH
68	EIFS WITH STONE TILE FINISH
69	EIFS WITH METAL TILE FINISH
70	EIFS WITH GLASS TILE FINISH
71	EIFS WITH CONCRETE TILE FINISH
72	EIFS WITH CERAMIC TILE FINISH
73	EIFS WITH BRICK TILE FINISH
74	EIFS WITH STONE TILE FINISH
75	EIFS WITH METAL TILE FINISH
76	EIFS WITH GLASS TILE FINISH
77	EIFS WITH CONCRETE TILE FINISH
78	EIFS WITH CERAMIC TILE FINISH
79	EIFS WITH BRICK TILE FINISH
80	EIFS WITH STONE TILE FINISH
81	EIFS WITH METAL TILE FINISH
82	EIFS WITH GLASS TILE FINISH
83	EIFS WITH CONCRETE TILE FINISH
84	EIFS WITH CERAMIC TILE FINISH
85	EIFS WITH BRICK TILE FINISH
86	EIFS WITH STONE TILE FINISH
87	EIFS WITH METAL TILE FINISH
88	EIFS WITH GLASS TILE FINISH
89	EIFS WITH CONCRETE TILE FINISH
90	EIFS WITH CERAMIC TILE FINISH
91	EIFS WITH BRICK TILE FINISH
92	EIFS WITH STONE TILE FINISH
93	EIFS WITH METAL TILE FINISH
94	EIFS WITH GLASS TILE FINISH
95	EIFS WITH CONCRETE TILE FINISH
96	EIFS WITH CERAMIC TILE FINISH
97	EIFS WITH BRICK TILE FINISH
98	EIFS WITH STONE TILE FINISH
99	EIFS WITH METAL TILE FINISH
100	EIFS WITH GLASS TILE FINISH

COLOR SELECTION:

1	EXTERIOR WALL COLOR
2	INTERIOR WALL COLOR
3	FLOOR COLOR
4	CEILING COLOR
5	ROOF COLOR
6	MECHANICAL COLOR
7	PAINT COLOR
8	WOOD COLOR
9	GLASS COLOR
10	METAL COLOR
11	CONCRETE COLOR
12	STAINLESS STEEL COLOR
13	CERAMIC COLOR
14	BRICK COLOR
15	STONE COLOR
16	EIFS COLOR
17	EIFS WITH STAINLESS STEEL COLOR
18	EIFS WITH CERAMIC COLOR
19	EIFS WITH BRICK COLOR
20	EIFS WITH STONE COLOR
21	EIFS WITH METAL COLOR
22	EIFS WITH GLASS COLOR
23	EIFS WITH CONCRETE COLOR
24	EIFS WITH CERAMIC TILE COLOR
25	EIFS WITH BRICK TILE COLOR
26	EIFS WITH STONE TILE COLOR
27	EIFS WITH METAL TILE COLOR
28	EIFS WITH GLASS TILE COLOR
29	EIFS WITH CONCRETE TILE COLOR
30	EIFS WITH CERAMIC TILE COLOR
31	EIFS WITH BRICK TILE COLOR
32	EIFS WITH STONE TILE COLOR
33	EIFS WITH METAL TILE COLOR
34	EIFS WITH GLASS TILE COLOR
35	EIFS WITH CONCRETE TILE COLOR
36	EIFS WITH CERAMIC TILE COLOR
37	EIFS WITH BRICK TILE COLOR
38	EIFS WITH STONE TILE COLOR
39	EIFS WITH METAL TILE COLOR
40	EIFS WITH GLASS TILE COLOR
41	EIFS WITH CONCRETE TILE COLOR
42	EIFS WITH CERAMIC TILE COLOR
43	EIFS WITH BRICK TILE COLOR
44	EIFS WITH STONE TILE COLOR
45	EIFS WITH METAL TILE COLOR
46	EIFS WITH GLASS TILE COLOR
47	EIFS WITH CONCRETE TILE COLOR
48	EIFS WITH CERAMIC TILE COLOR
49	EIFS WITH BRICK TILE COLOR
50	EIFS WITH STONE TILE COLOR
51	EIFS WITH METAL TILE COLOR
52	EIFS WITH GLASS TILE COLOR
53	EIFS WITH CONCRETE TILE COLOR
54	EIFS WITH CERAMIC TILE COLOR
55	EIFS WITH BRICK TILE COLOR
56	EIFS WITH STONE TILE COLOR
57	EIFS WITH METAL TILE COLOR
58	EIFS WITH GLASS TILE COLOR
59	EIFS WITH CONCRETE TILE COLOR
60	EIFS WITH CERAMIC TILE COLOR
61	EIFS WITH BRICK TILE COLOR
62	EIFS WITH STONE TILE COLOR
63	EIFS WITH METAL TILE COLOR
64	EIFS WITH GLASS TILE COLOR
65	EIFS WITH CONCRETE TILE COLOR
66	EIFS WITH CERAMIC TILE COLOR
67	EIFS WITH BRICK TILE COLOR
68	EIFS WITH STONE TILE COLOR
69	EIFS WITH METAL TILE COLOR
70	EIFS WITH GLASS TILE COLOR
71	EIFS WITH CONCRETE TILE COLOR
72	EIFS WITH CERAMIC TILE COLOR
73	EIFS WITH BRICK TILE COLOR
74	EIFS WITH STONE TILE COLOR
75	EIFS WITH METAL TILE COLOR
76	EIFS WITH GLASS TILE COLOR
77	EIFS WITH CONCRETE TILE COLOR
78	EIFS WITH CERAMIC TILE COLOR
79	EIFS WITH BRICK TILE COLOR
80	EIFS WITH STONE TILE COLOR
81	EIFS WITH METAL TILE COLOR
82	EIFS WITH GLASS TILE COLOR
83	EIFS WITH CONCRETE TILE COLOR
84	EIFS WITH CERAMIC TILE COLOR
85	EIFS WITH BRICK TILE COLOR
86	EIFS WITH STONE TILE COLOR
87	EIFS WITH METAL TILE COLOR
88	EIFS WITH GLASS TILE COLOR
89	EIFS WITH CONCRETE TILE COLOR
90	EIFS WITH CERAMIC TILE COLOR
91	EIFS WITH BRICK TILE COLOR
92	EIFS WITH STONE TILE COLOR
93	EIFS WITH METAL TILE COLOR
94	EIFS WITH GLASS TILE COLOR
95	EIFS WITH CONCRETE TILE COLOR
96	EIFS WITH CERAMIC TILE COLOR
97	EIFS WITH BRICK TILE COLOR
98	EIFS WITH STONE TILE COLOR
99	EIFS WITH METAL TILE COLOR
100	EIFS WITH GLASS TILE COLOR





PROJ. NO. 08016
 A4-168
 COURTYARD BUILDINGS
 NOT FOR CONSTRUCTION

DATE: 08/14/08
 DRAWN BY: JLB
 CHECKED BY: JLB
 PROJECT NO: 08016
 SHEET NO: A4-168
 PROJECT: COURTYARD BUILDINGS

PROJECT NAME	A4-168
DATE	08/14/08
DRAWN BY	JLB
CHECKED BY	JLB
PROJECT NO	08016
SHEET NO	A4-168
PROJECT	COURTYARD BUILDINGS
DATE	08/14/08
DRAWN BY	JLB
CHECKED BY	JLB
PROJECT NO	08016
SHEET NO	A4-168
PROJECT	COURTYARD BUILDINGS

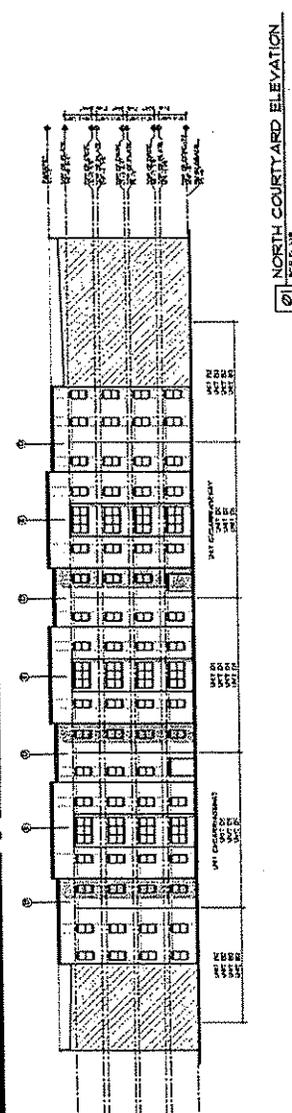
08016
A4-168
 COURTYARD BUILDINGS
 Y-02-B-08

FINISH LEGEND:

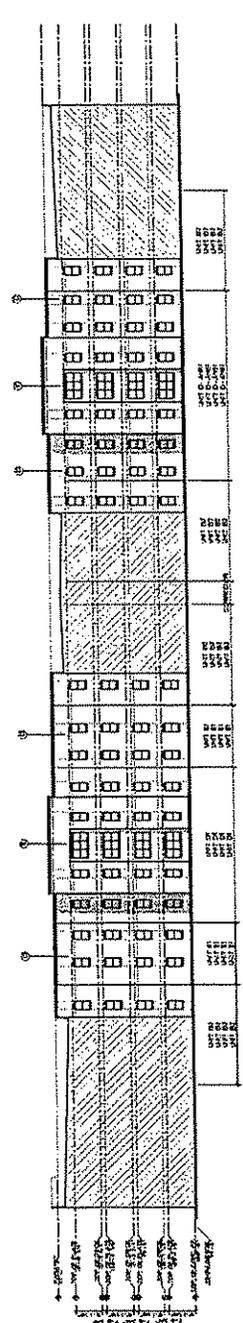
1	CONCRETE
2	PAINT
3	WOOD
4	GLASS
5	BRICK
6	STONE
7	ROOFING
8	LANDSCAPE
9	MECHANICAL
10	ELECTRICAL
11	PLUMBING
12	TELEPHONE
13	TELEVISION
14	INTERNET
15	WATER
16	SEWER
17	HEATING
18	Cooling
19	Other

COLOR SELECTION:

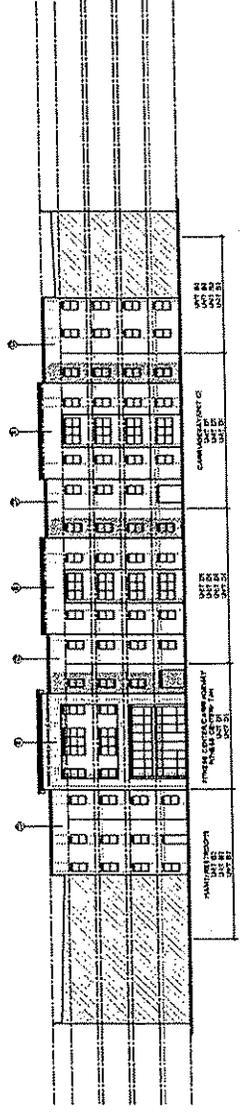
1	CONCRETE
2	PAINT
3	WOOD
4	GLASS
5	BRICK
6	STONE
7	ROOFING
8	LANDSCAPE
9	MECHANICAL
10	ELECTRICAL
11	PLUMBING
12	TELEPHONE
13	TELEVISION
14	INTERNET
15	WATER
16	SEWER
17	HEATING
18	Cooling
19	Other



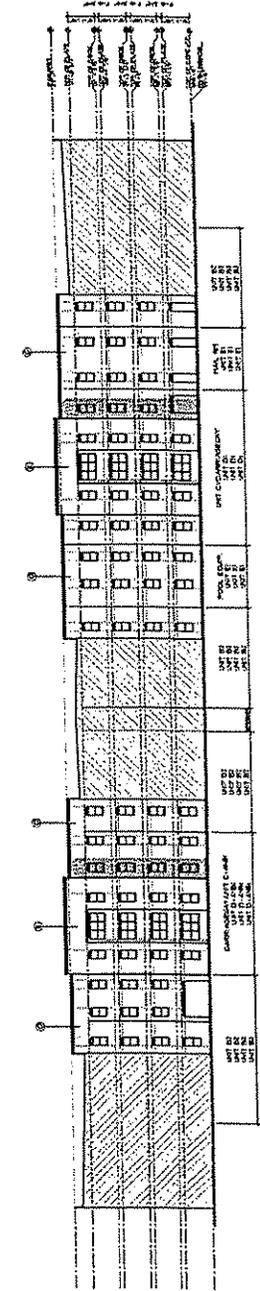
01 NORTH COURTYARD ELEVATION
 SCALE: 1/8" = 1'-0"



02 WEST COURTYARD ELEVATION
 SCALE: 1/8" = 1'-0"



03 SOUTH COURTYARD ELEVATION
 SCALE: 1/8" = 1'-0"



04 EAST COURTYARD ELEVATION
 SCALE: 1/8" = 1'-0"

PLANT MATERIAL LEGEND

KEY	SYMBOL	BOTANICAL/COMMON NAME	SIZE (Height, Canopy, + Caliper)
TREES			
1		Acacia saligna Willow Acacia	24' Box 8' 4' 1.5' 36' Box 14' 6' 2.5' Double-Staked Typ.
2		Eucalyptus pauciflora Ghost Gum Eucalyptus	24' Box 9' 4' 1.5' 36' Box 13' 6' 2.5' Double-Staked Typ.
3		Arecastrum romanzoffianum Queen Palm	24' Box 10' tall min. Double-Staked Typ.
4		Parkinsonia hybrid 'Desert Museum'	24' Box 7.5' 4' 1.5' 36' Box 10' 8' 2.5' Double-Staked Typ.
5		Dalbergia sissoo Sissoo	24' Box 10' 4' 1.5' 36' Box 12' 8' 2' Double-Staked Typ.
6		Fraxinus v. 'Rio Grande' Rio Grande Ash	24' Box 10' 4' 1.5' Double-Staked Typ.
7		Jacaranda mimosifolia Jacaranda	24' Box 9' 4' 1.5' 36' Box 10' 5' 2' Double-Staked Typ.
8		Thevita peruviana Yellow Oleander	24' Box 9' 4' 1.5' 36' Box 12' 6' 2.5' Double-Staked Typ.
9		Olea europaea 'Swan Hill' Swan Hill Olive	24' Box 8' 5.5' 1.5' 36' Box 12' 10' 3' Double-Staked Typ.
10		Phoenix dactylifera Date Palm	15'-25' Tall See plan For Specifics
11		Prosopis hybrid 'Phoenix' Thornless Hybrid Mesquite	24' Box 8' 4' 1.5' 36' Box 10' 8' 2.5' Double-Staked Typ.
12		Prunus cerasifera 'atropurpurea' Purple Leaf Plum	24' Box 9' 4' 1.5' 36' Box 13' 10' 2.5' Double-Staked Typ.
13		Pinus eldarica Mandel Pine	24' Box 10' 4' 2' 36' Box 15' 5' 4' Double-Staked Typ.
14		Quercus virginiana Heritage Live Oak	24' Box 9' 4' 1.5' 36' Box 13' 8' 2.75' Double-Staked Typ.
15		Ulmus parvifolia Evergreen Elm	24' Box 8' 3' 1.5' 36' Box 14' 8' 2.5' Double-Staked Typ.
16		Washingtonia robusta Mexican Fan Palm	15'-25' Tall See plan

CITY NOTES

- ALL SHRUB AND GROUND COVER PLANTINGS WILL FOLLOW THE FOLLOWING
- 0 TO 6' MAXIMUM HEIGHT OF MATURE SHRUBS WILL BE NO MORE THEN 2' FEET
 - 6' TO 8' MAXIMUM HEIGHT OF MATURE SHRUBS WILL BE NO MORE THEN 3' FEET
 - 8' AND ABOVE HEIGHT OF MATURE SHRUBS WILL BE 3' FEET AND UP
- ALL LIGHT POLES WILL NOT BE PLACE ANY CLOSER THEN 15' TO THE TRUNK OF THE TREE
- ALL PLANTING WILL BE WATERED WITH AN AUTOMATIC IRRIGATION SYSTEM UTILIZING LOW ANGLE SPRAY HEADS FOR TURF AREAS AND EMITTERS FOR ALL OTHER PLANT MATERIAL THIS SYSTEM WILL BE FED BY IT'S OWN WATER METER.
- ALL TREES TO HAVE A MIN. CALIPER OF 1.5"

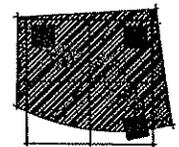
1949
E. UNIVERSITY DR.
JLB PARTNERS

PROJECT/CASE # SPR 08007
 SECTION: 24' N ZONING: EXISTING R-4 (PAD)
 PROPOSED MU-4 (PAD)
 1949 E. UNIVERSITY DR.
 TEMPE, ARIZONA

Hensley Lamkin Rachel, Inc.
ARCHITECTURE AND PLANNING

SUITE 600
 75254
 FAX 972 726-9401

14881 QUORUM DR.
 DALLAS, TEXAS
 PH 972 726-9400



BRUCE RACHEL, AIA
 AZ LICENSE NO. 47352
 PRELIMINARY DRAWING
 NOT FOR CONSTRUCTION



ARCHITECTURE AND PLANNING
 PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION

PROJECT NO. 11-03-00
 SHEET NO. 08016
 DATE: 11/11/03
 DRAWN BY: JAC
 CHECKED BY: JAC

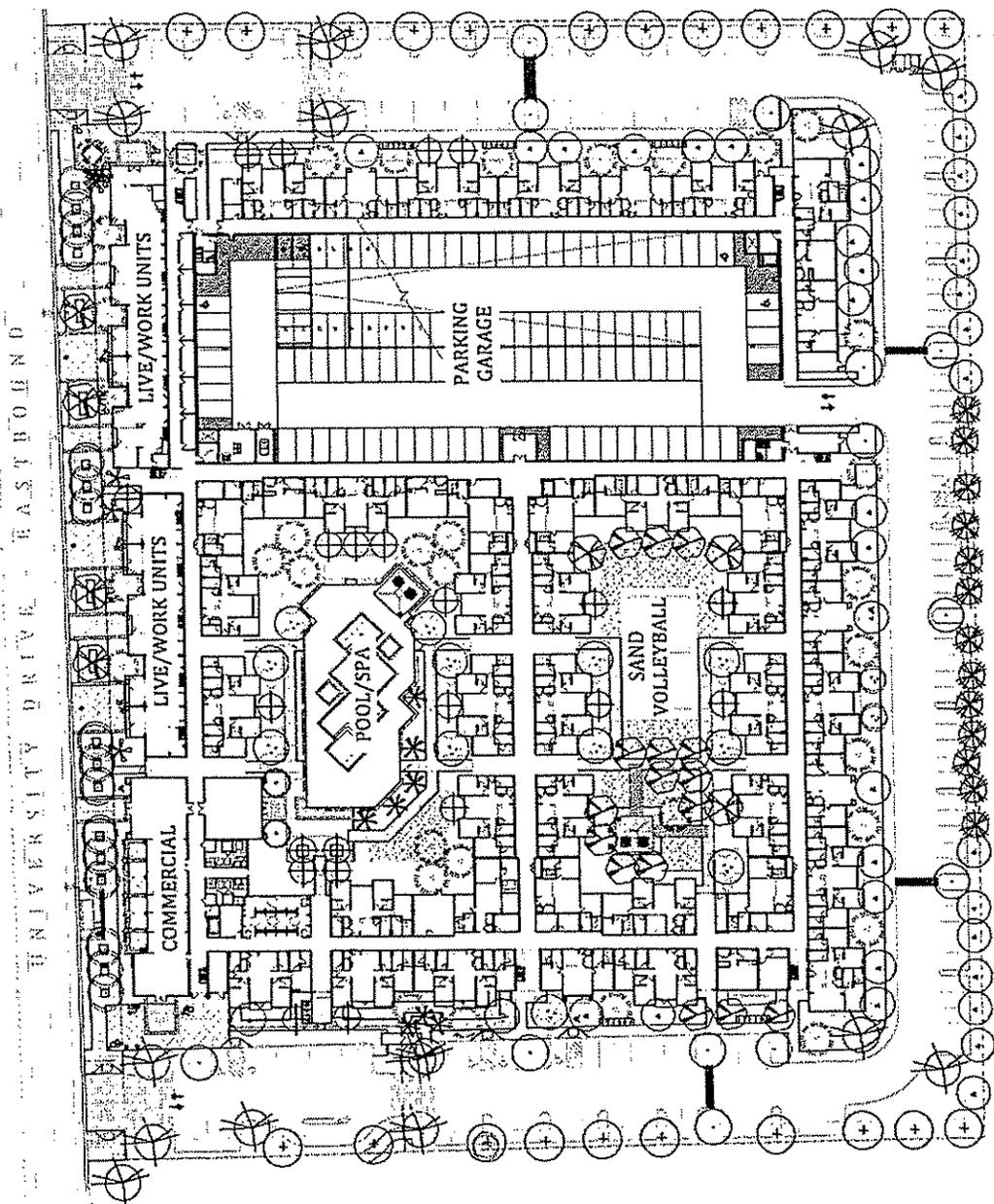
08016
 PL10
 PRELIMINARY LANDSCAPE PLAN
 11/11/03

PLANT MATERIAL LEGEND

PLANT SYMBOL	PLANT MATERIAL	SIZE
(Symbol)	Redwood	12" DBH
(Symbol)	Redwood	18" DBH
(Symbol)	Redwood	24" DBH
(Symbol)	Redwood	30" DBH
(Symbol)	Redwood	36" DBH
(Symbol)	Redwood	42" DBH
(Symbol)	Redwood	48" DBH
(Symbol)	Redwood	54" DBH
(Symbol)	Redwood	60" DBH
(Symbol)	Redwood	66" DBH
(Symbol)	Redwood	72" DBH
(Symbol)	Redwood	78" DBH
(Symbol)	Redwood	84" DBH
(Symbol)	Redwood	90" DBH
(Symbol)	Redwood	96" DBH
(Symbol)	Redwood	102" DBH
(Symbol)	Redwood	108" DBH
(Symbol)	Redwood	114" DBH
(Symbol)	Redwood	120" DBH
(Symbol)	Redwood	126" DBH
(Symbol)	Redwood	132" DBH
(Symbol)	Redwood	138" DBH
(Symbol)	Redwood	144" DBH
(Symbol)	Redwood	150" DBH
(Symbol)	Redwood	156" DBH
(Symbol)	Redwood	162" DBH
(Symbol)	Redwood	168" DBH
(Symbol)	Redwood	174" DBH
(Symbol)	Redwood	180" DBH
(Symbol)	Redwood	186" DBH
(Symbol)	Redwood	192" DBH
(Symbol)	Redwood	198" DBH
(Symbol)	Redwood	204" DBH
(Symbol)	Redwood	210" DBH
(Symbol)	Redwood	216" DBH
(Symbol)	Redwood	222" DBH
(Symbol)	Redwood	228" DBH
(Symbol)	Redwood	234" DBH
(Symbol)	Redwood	240" DBH
(Symbol)	Redwood	246" DBH
(Symbol)	Redwood	252" DBH
(Symbol)	Redwood	258" DBH
(Symbol)	Redwood	264" DBH
(Symbol)	Redwood	270" DBH
(Symbol)	Redwood	276" DBH
(Symbol)	Redwood	282" DBH
(Symbol)	Redwood	288" DBH
(Symbol)	Redwood	294" DBH
(Symbol)	Redwood	300" DBH
(Symbol)	Redwood	306" DBH
(Symbol)	Redwood	312" DBH
(Symbol)	Redwood	318" DBH
(Symbol)	Redwood	324" DBH
(Symbol)	Redwood	330" DBH
(Symbol)	Redwood	336" DBH
(Symbol)	Redwood	342" DBH
(Symbol)	Redwood	348" DBH
(Symbol)	Redwood	354" DBH
(Symbol)	Redwood	360" DBH
(Symbol)	Redwood	366" DBH
(Symbol)	Redwood	372" DBH
(Symbol)	Redwood	378" DBH
(Symbol)	Redwood	384" DBH
(Symbol)	Redwood	390" DBH
(Symbol)	Redwood	396" DBH
(Symbol)	Redwood	402" DBH
(Symbol)	Redwood	408" DBH
(Symbol)	Redwood	414" DBH
(Symbol)	Redwood	420" DBH
(Symbol)	Redwood	426" DBH
(Symbol)	Redwood	432" DBH
(Symbol)	Redwood	438" DBH
(Symbol)	Redwood	444" DBH
(Symbol)	Redwood	450" DBH
(Symbol)	Redwood	456" DBH
(Symbol)	Redwood	462" DBH
(Symbol)	Redwood	468" DBH
(Symbol)	Redwood	474" DBH
(Symbol)	Redwood	480" DBH
(Symbol)	Redwood	486" DBH
(Symbol)	Redwood	492" DBH
(Symbol)	Redwood	498" DBH
(Symbol)	Redwood	504" DBH
(Symbol)	Redwood	510" DBH
(Symbol)	Redwood	516" DBH
(Symbol)	Redwood	522" DBH
(Symbol)	Redwood	528" DBH
(Symbol)	Redwood	534" DBH
(Symbol)	Redwood	540" DBH
(Symbol)	Redwood	546" DBH
(Symbol)	Redwood	552" DBH
(Symbol)	Redwood	558" DBH
(Symbol)	Redwood	564" DBH
(Symbol)	Redwood	570" DBH
(Symbol)	Redwood	576" DBH
(Symbol)	Redwood	582" DBH
(Symbol)	Redwood	588" DBH
(Symbol)	Redwood	594" DBH
(Symbol)	Redwood	600" DBH
(Symbol)	Redwood	606" DBH
(Symbol)	Redwood	612" DBH
(Symbol)	Redwood	618" DBH
(Symbol)	Redwood	624" DBH
(Symbol)	Redwood	630" DBH
(Symbol)	Redwood	636" DBH
(Symbol)	Redwood	642" DBH
(Symbol)	Redwood	648" DBH
(Symbol)	Redwood	654" DBH
(Symbol)	Redwood	660" DBH
(Symbol)	Redwood	666" DBH
(Symbol)	Redwood	672" DBH
(Symbol)	Redwood	678" DBH
(Symbol)	Redwood	684" DBH
(Symbol)	Redwood	690" DBH
(Symbol)	Redwood	696" DBH
(Symbol)	Redwood	702" DBH
(Symbol)	Redwood	708" DBH
(Symbol)	Redwood	714" DBH
(Symbol)	Redwood	720" DBH
(Symbol)	Redwood	726" DBH
(Symbol)	Redwood	732" DBH
(Symbol)	Redwood	738" DBH
(Symbol)	Redwood	744" DBH
(Symbol)	Redwood	750" DBH
(Symbol)	Redwood	756" DBH
(Symbol)	Redwood	762" DBH
(Symbol)	Redwood	768" DBH
(Symbol)	Redwood	774" DBH
(Symbol)	Redwood	780" DBH
(Symbol)	Redwood	786" DBH
(Symbol)	Redwood	792" DBH
(Symbol)	Redwood	798" DBH
(Symbol)	Redwood	804" DBH
(Symbol)	Redwood	810" DBH
(Symbol)	Redwood	816" DBH
(Symbol)	Redwood	822" DBH
(Symbol)	Redwood	828" DBH
(Symbol)	Redwood	834" DBH
(Symbol)	Redwood	840" DBH
(Symbol)	Redwood	846" DBH
(Symbol)	Redwood	852" DBH
(Symbol)	Redwood	858" DBH
(Symbol)	Redwood	864" DBH
(Symbol)	Redwood	870" DBH
(Symbol)	Redwood	876" DBH
(Symbol)	Redwood	882" DBH
(Symbol)	Redwood	888" DBH
(Symbol)	Redwood	894" DBH
(Symbol)	Redwood	900" DBH
(Symbol)	Redwood	906" DBH
(Symbol)	Redwood	912" DBH
(Symbol)	Redwood	918" DBH
(Symbol)	Redwood	924" DBH
(Symbol)	Redwood	930" DBH
(Symbol)	Redwood	936" DBH
(Symbol)	Redwood	942" DBH
(Symbol)	Redwood	948" DBH
(Symbol)	Redwood	954" DBH
(Symbol)	Redwood	960" DBH
(Symbol)	Redwood	966" DBH
(Symbol)	Redwood	972" DBH
(Symbol)	Redwood	978" DBH
(Symbol)	Redwood	984" DBH
(Symbol)	Redwood	990" DBH
(Symbol)	Redwood	996" DBH
(Symbol)	Redwood	1002" DBH
(Symbol)	Redwood	1008" DBH
(Symbol)	Redwood	1014" DBH
(Symbol)	Redwood	1020" DBH
(Symbol)	Redwood	1026" DBH
(Symbol)	Redwood	1032" DBH
(Symbol)	Redwood	1038" DBH
(Symbol)	Redwood	1044" DBH
(Symbol)	Redwood	1050" DBH
(Symbol)	Redwood	1056" DBH
(Symbol)	Redwood	1062" DBH
(Symbol)	Redwood	1068" DBH
(Symbol)	Redwood	1074" DBH
(Symbol)	Redwood	1080" DBH
(Symbol)	Redwood	1086" DBH
(Symbol)	Redwood	1092" DBH
(Symbol)	Redwood	1098" DBH
(Symbol)	Redwood	1104" DBH
(Symbol)	Redwood	1110" DBH
(Symbol)	Redwood	1116" DBH
(Symbol)	Redwood	1122" DBH
(Symbol)	Redwood	1128" DBH
(Symbol)	Redwood	1134" DBH
(Symbol)	Redwood	1140" DBH
(Symbol)	Redwood	1146" DBH
(Symbol)	Redwood	1152" DBH
(Symbol)	Redwood	1158" DBH
(Symbol)	Redwood	1164" DBH
(Symbol)	Redwood	1170" DBH
(Symbol)	Redwood	1176" DBH
(Symbol)	Redwood	1182" DBH
(Symbol)	Redwood	1188" DBH
(Symbol)	Redwood	1194" DBH
(Symbol)	Redwood	1200" DBH

CITY NOTES

1. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 2. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 3. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 4. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 5. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 6. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 7. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 8. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 9. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 10. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 11. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 12. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 13. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 14. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 15. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 16. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 17. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 18. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 19. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.
 20. ALL PLANT MATERIAL TO BE INSTALLED BY THE CONTRACTOR.



PRELIMINARY LANDSCAPE PLAN - SITE PLAN
 SCALE: 1"=30'-0"
 NORTH



